



Archived Content

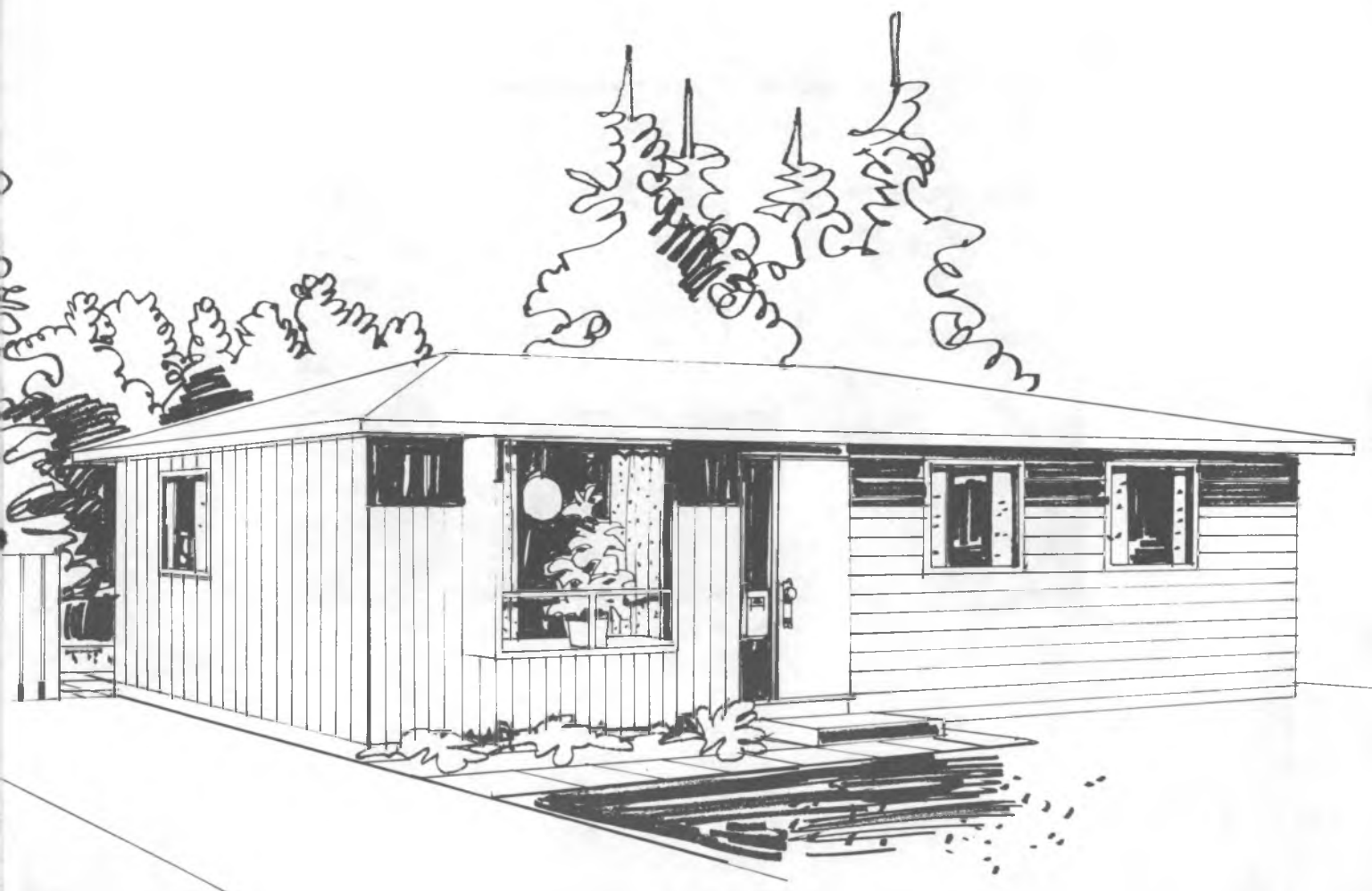
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Series: 1976 (Letter-Number)

Special Features: N/A
Comments:



MODÈLE/DESIGN

A-1



LÉGENDE:

ESPACES CHAUFFÉS
AU-DESSUS DU NIVEAU DU SOL
OU AVEC DEMI-SOUS-SOL

LEGEND:

HEATED SPACES
ABOVE GROUND LEVEL
OR IN HALF BASEMENT

ESPACES NON CHAUFFÉS
AU-DESSUS DU NIVEAU
DU SOL OU SOUS-SOL
À DEMI-CHAUFFÉ

UNHEATED SPACES
ABOVE GROUND LEVEL
OR SEMI-HEATED BASEMENT

SÉJOUR ① LIVING SPACE

REPAS ② EATING SPACE

CUISSON ③ COOKING SPACE

SOMMEIL ④ SLEEPING SPACE

CABINET D'AISANCES ⑤ TOILET SPACE

TOILETTE ⑥ WASHING SPACE

JEU ⑦ PLAY SPACE

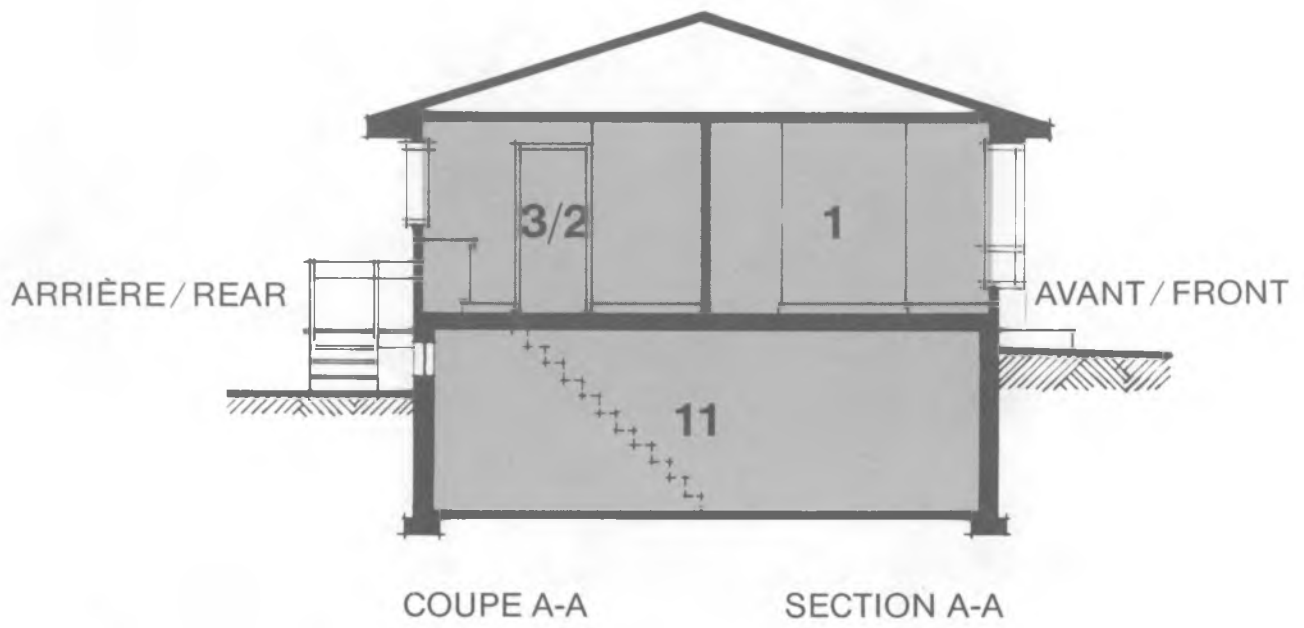
RANGEMENT ⑧ STORAGE SPACE

LESSIVE ⑨ LAUNDRY SPACE

TRAVAIL ⑩ WORK SPACE

SOUS-SOL ⑪ BASEMENT

VIDE SANITAIRE ⑫ CRAWL SPACE



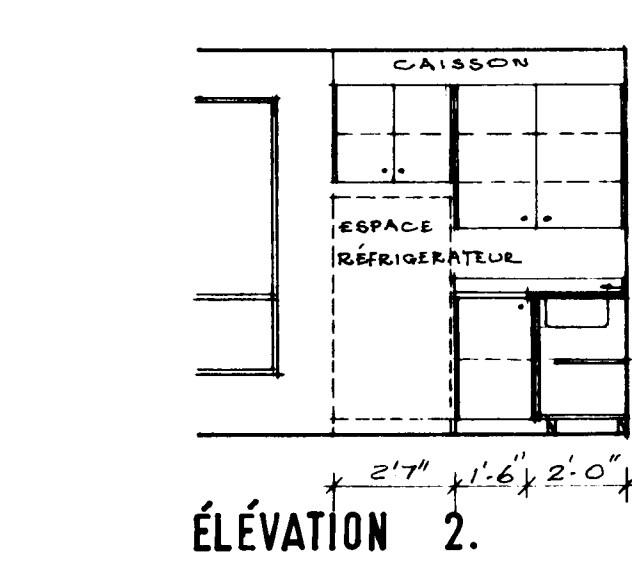
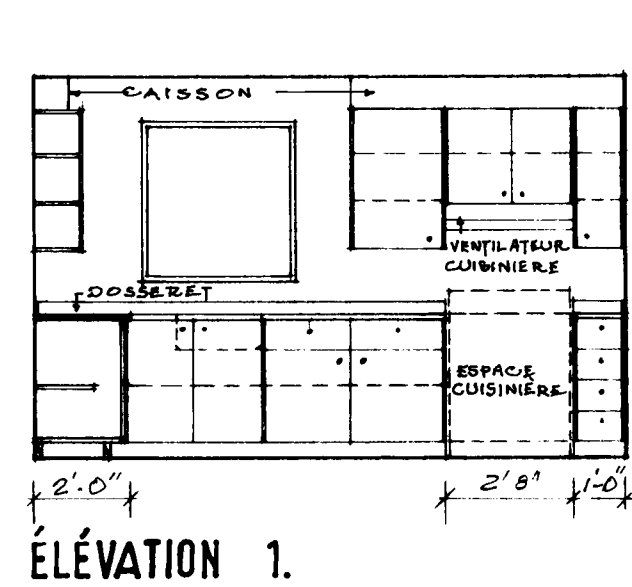
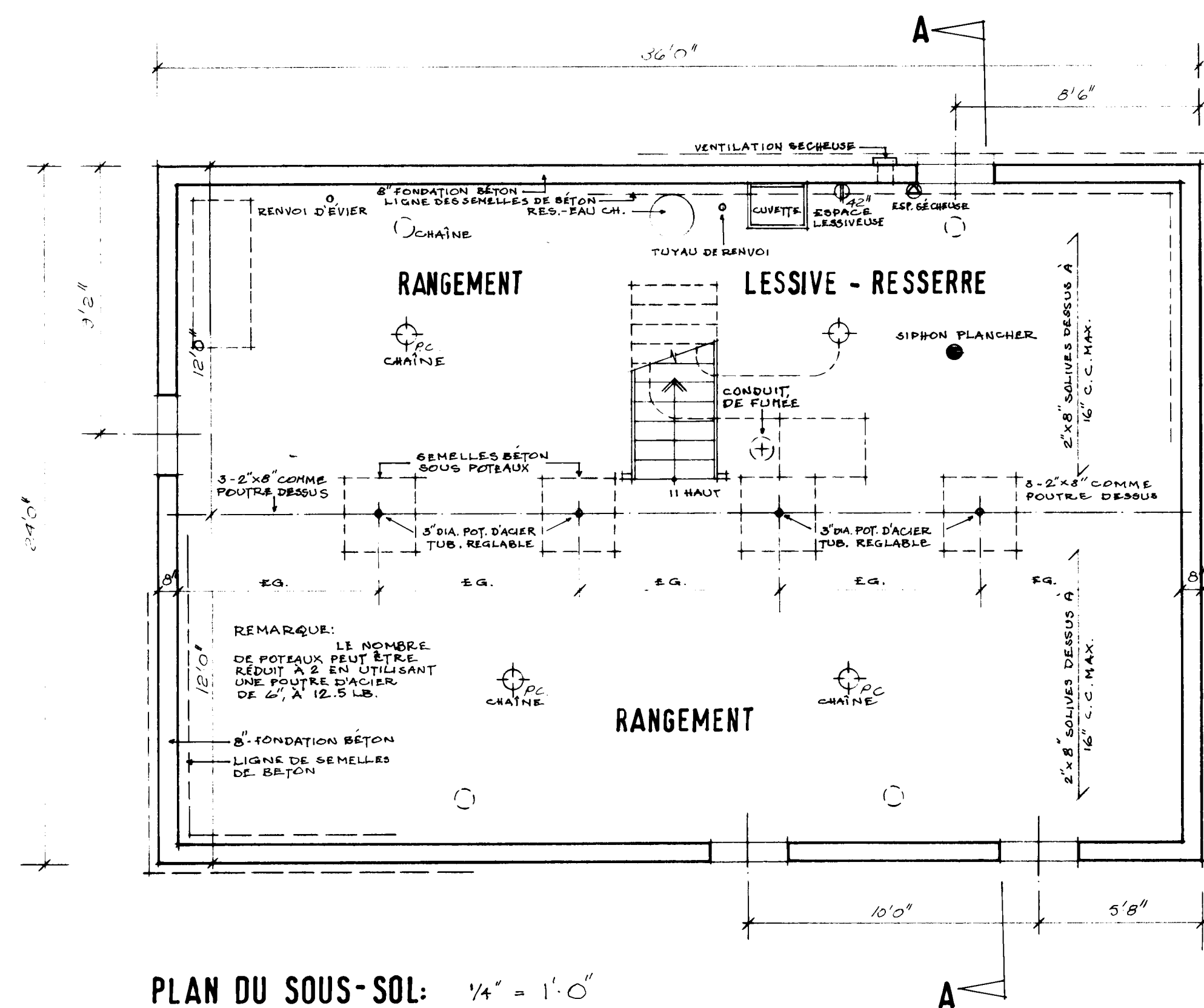
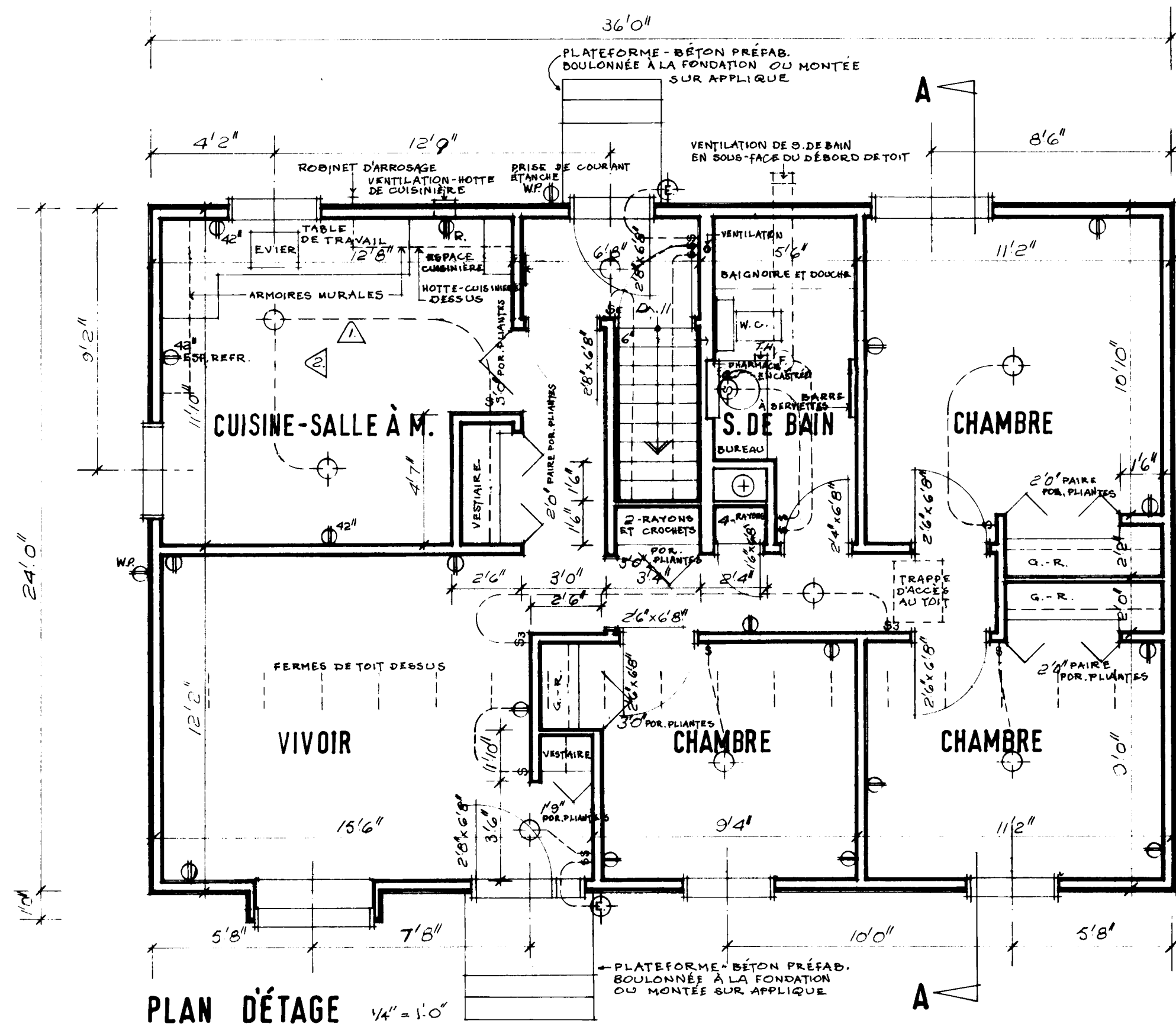


**Canada Mortgage
and Housing Corporation**

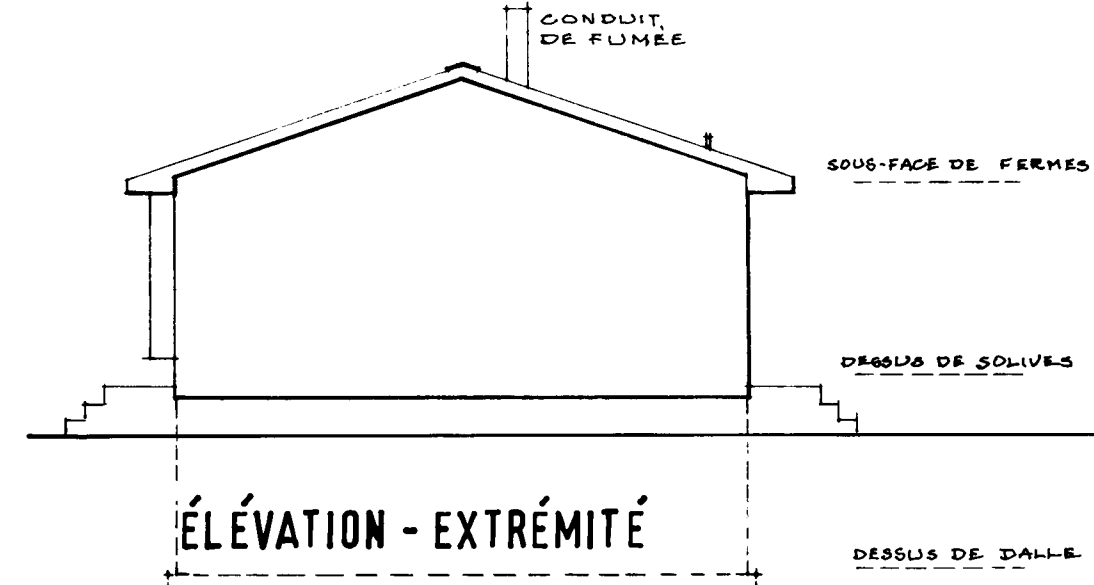
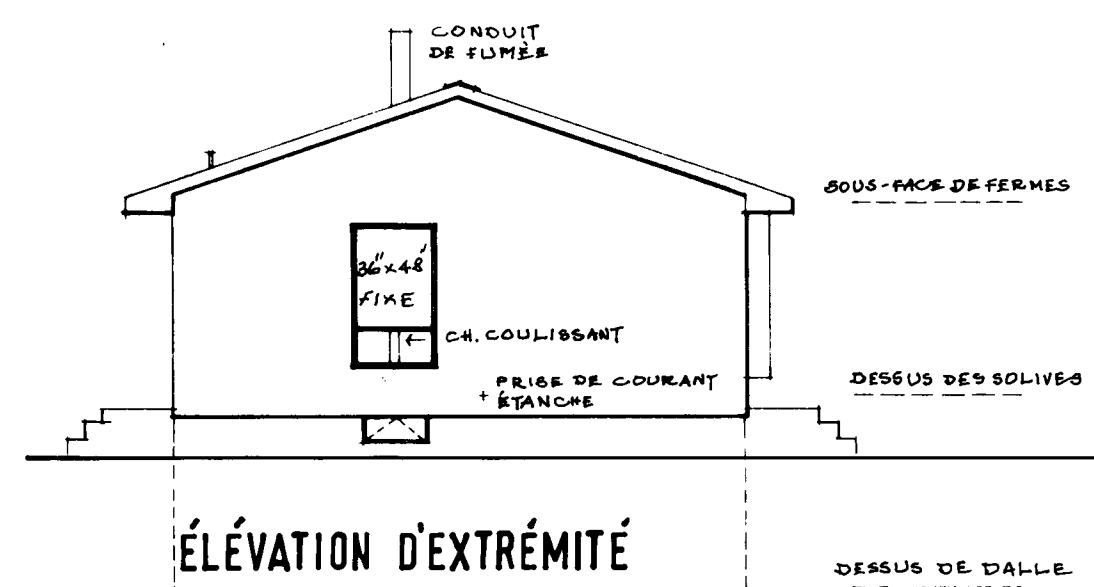
**Société canadienne
d'hypothèques et de logement**

**Honourable Elmer MacKay
Minister**

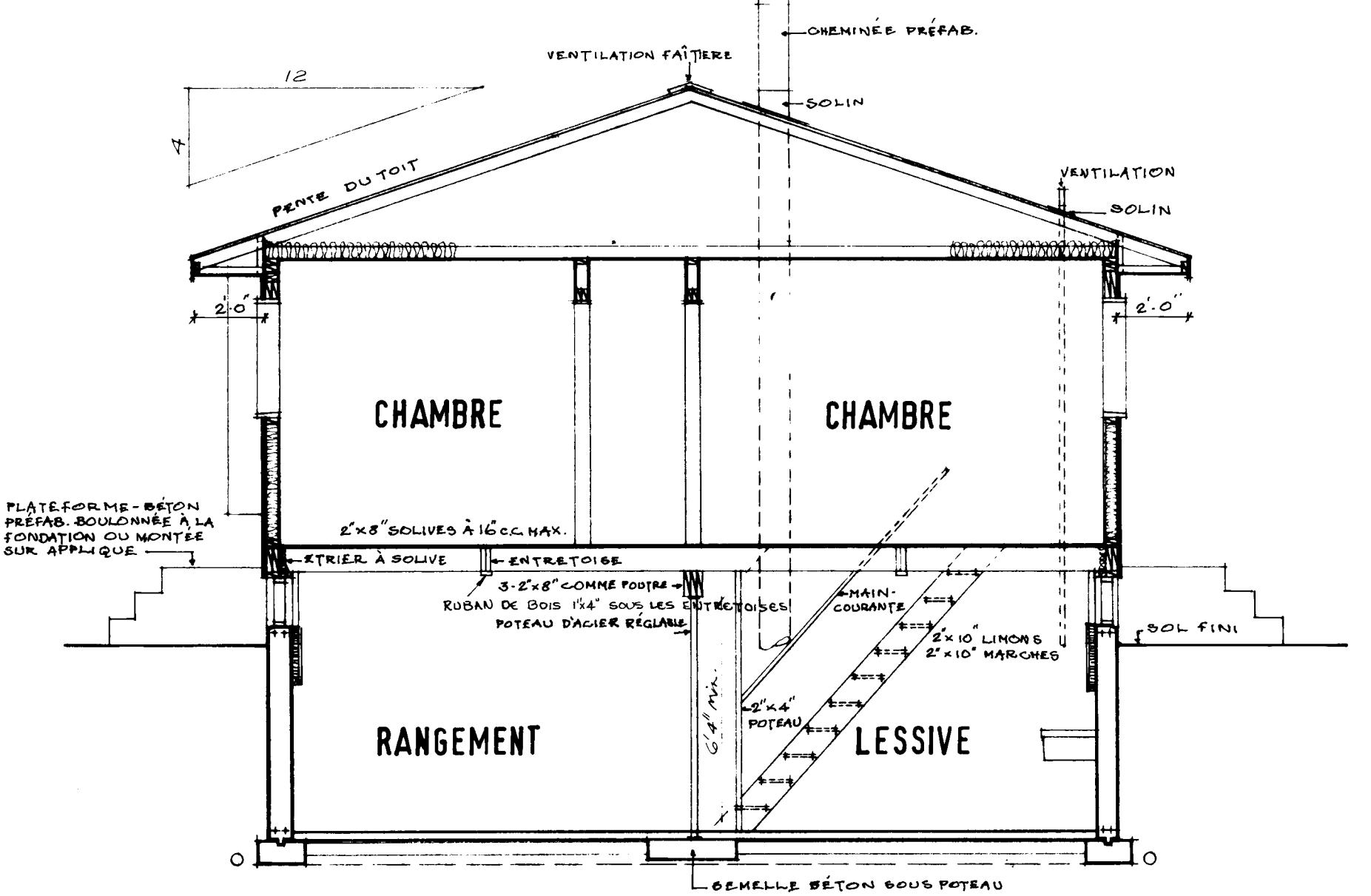
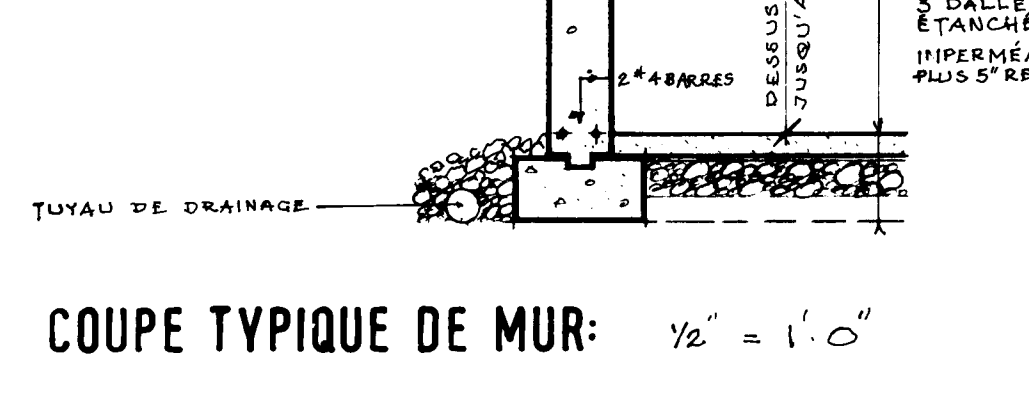
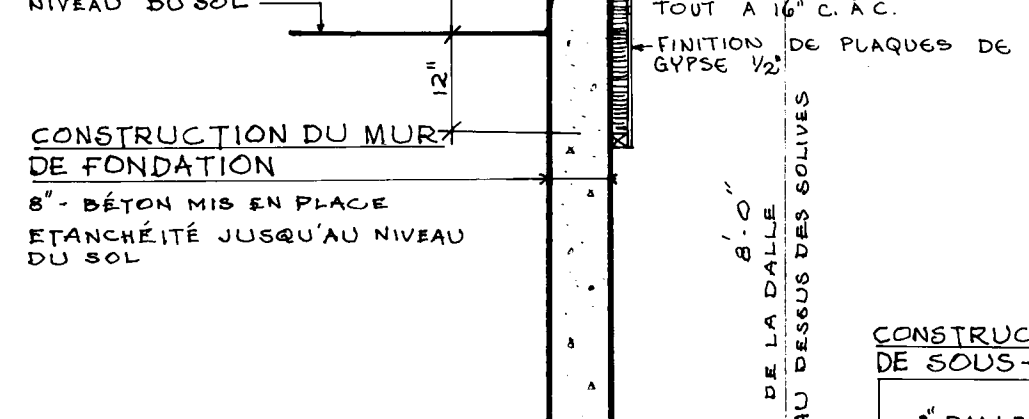
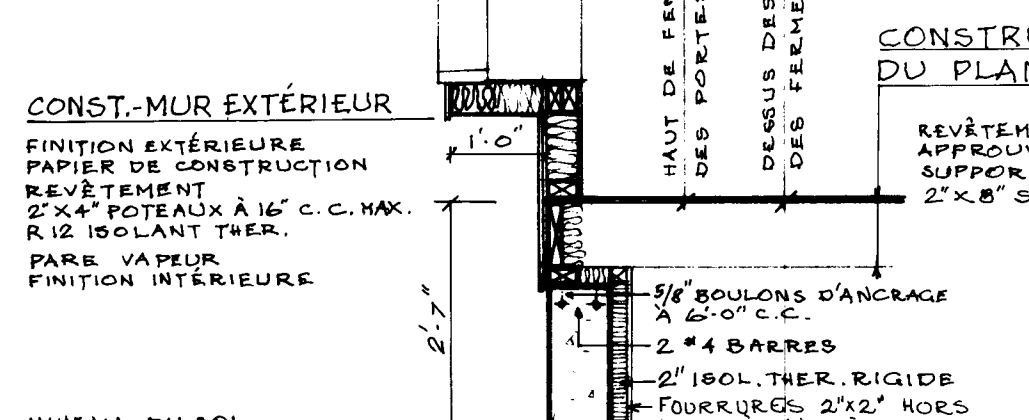
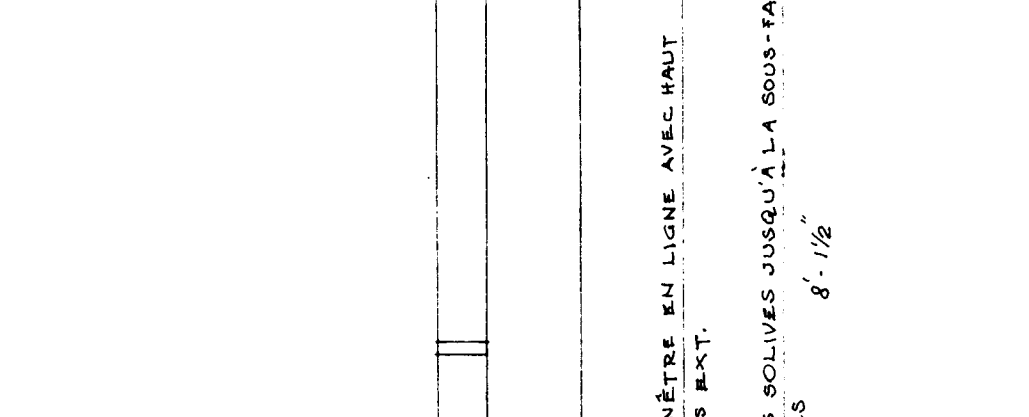
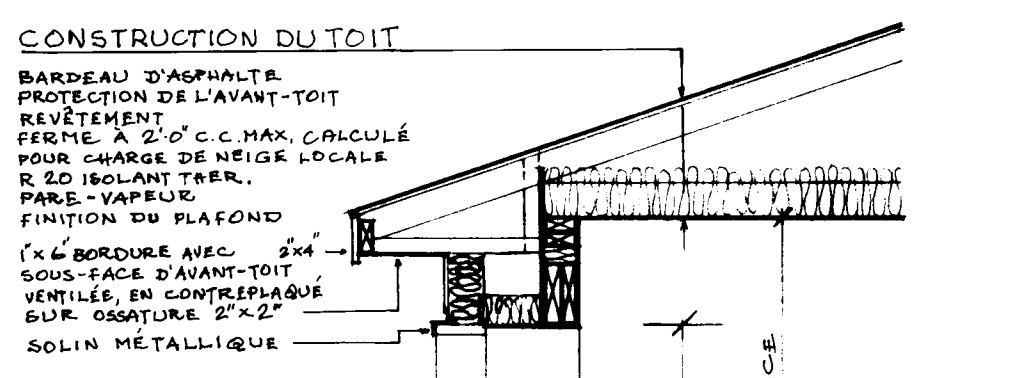
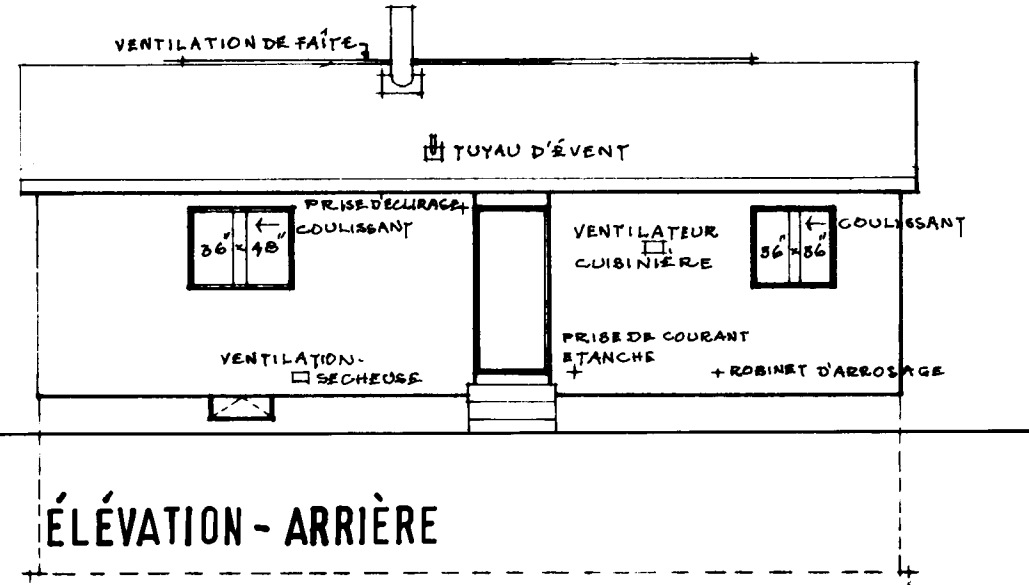
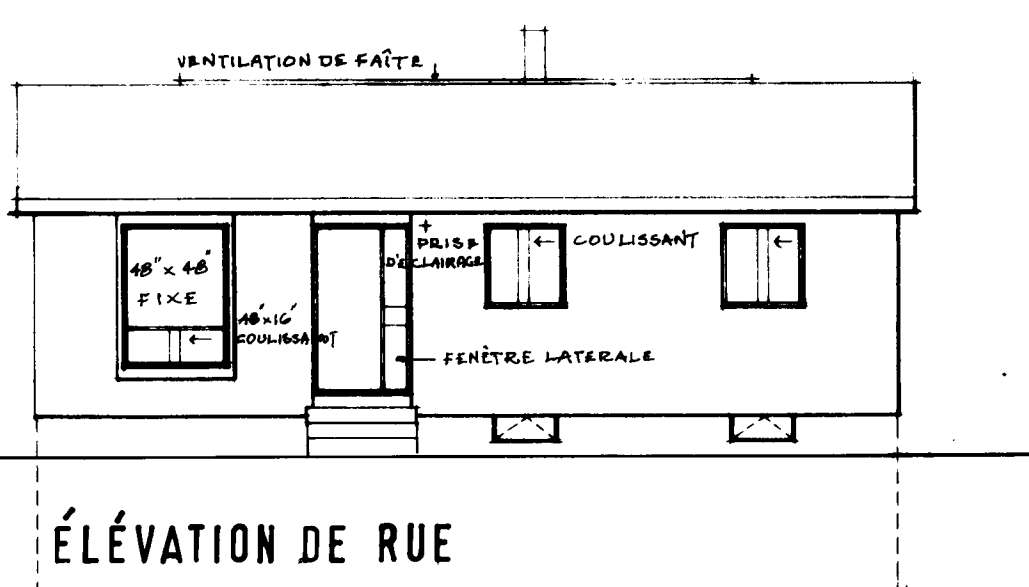
NHA 5120-1



ÉLEVATIONS-CUISINE 1/4" = 1'-0"

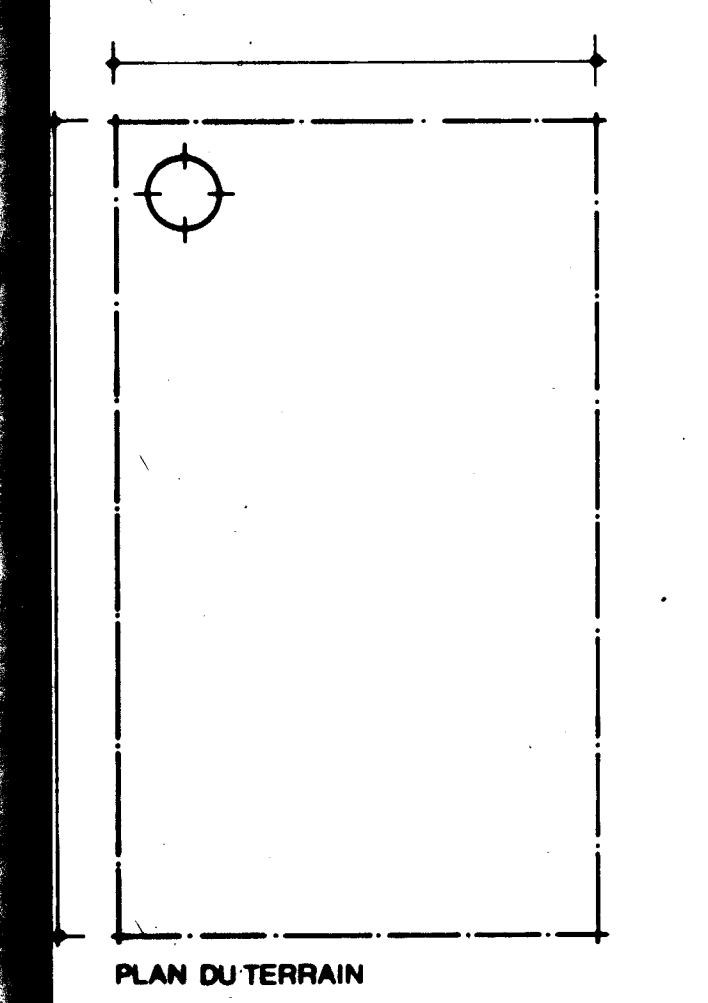


ÉLEVATIONS: 1/8" = 1'-0"

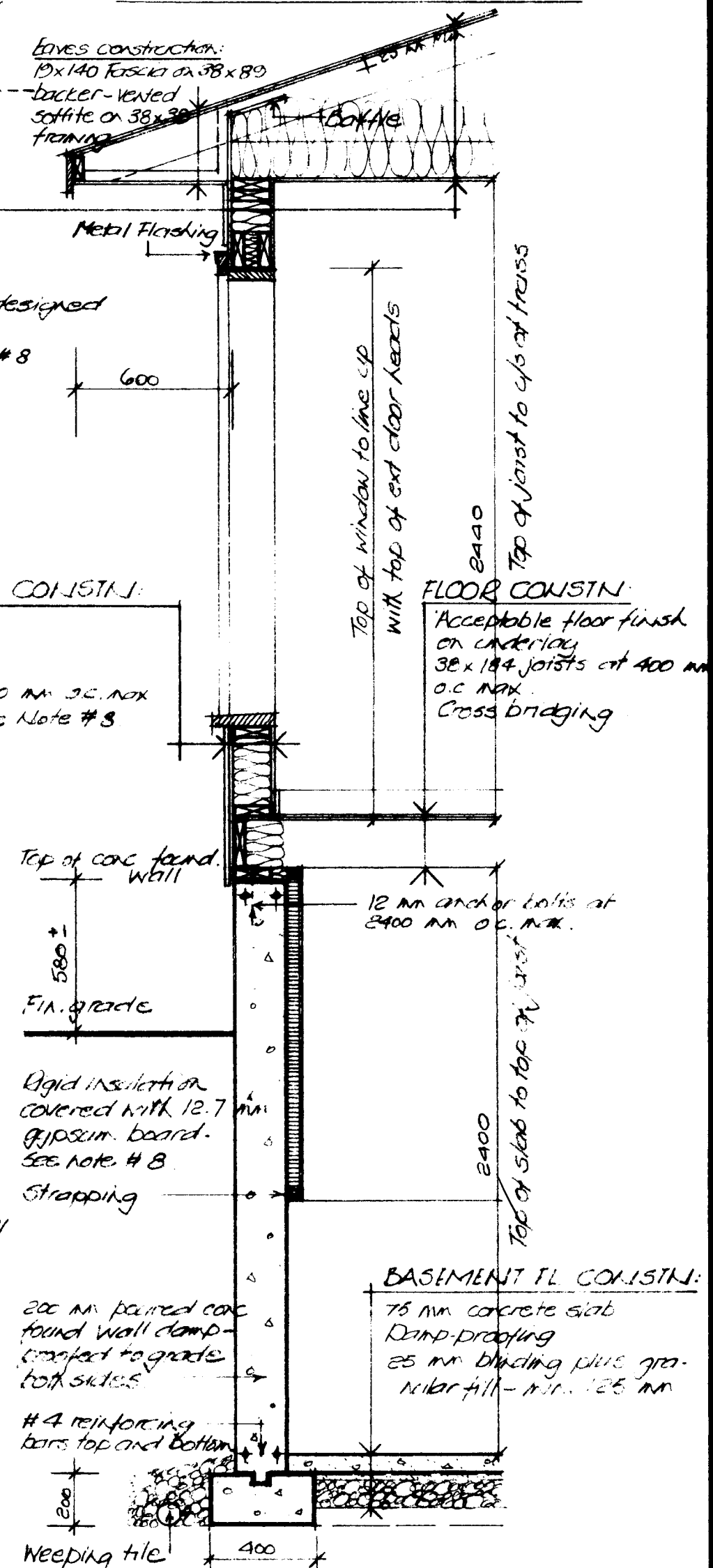
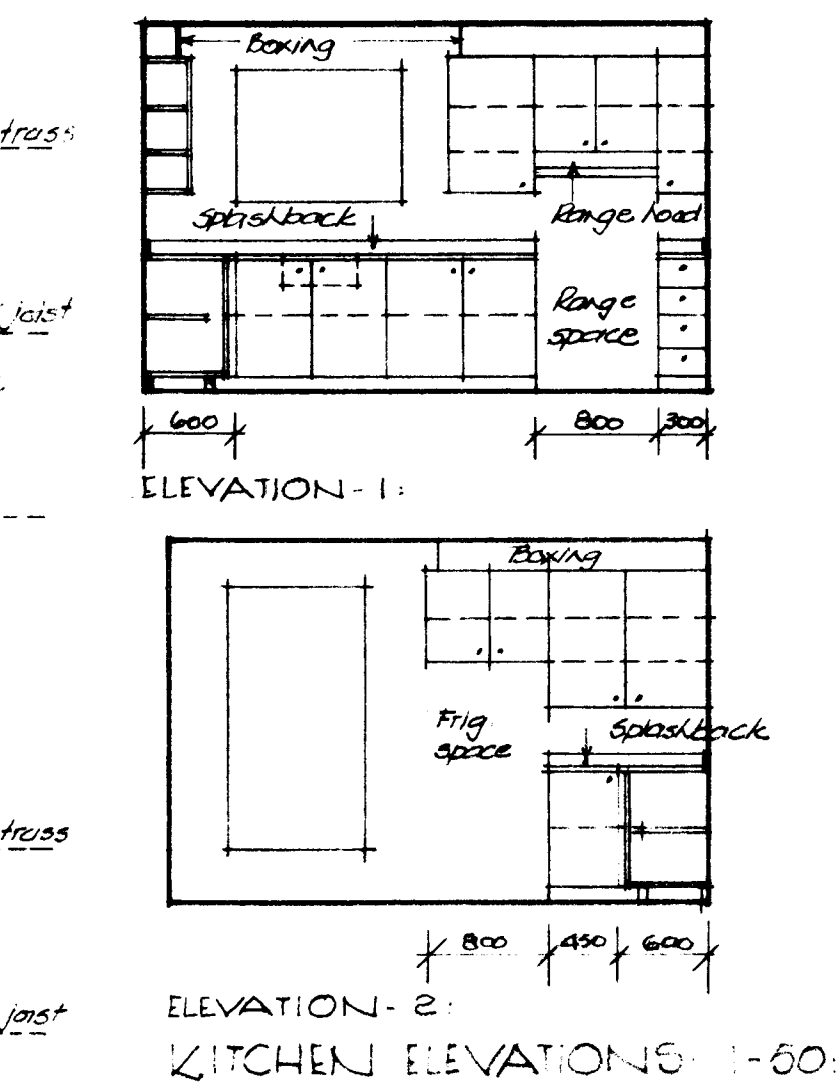
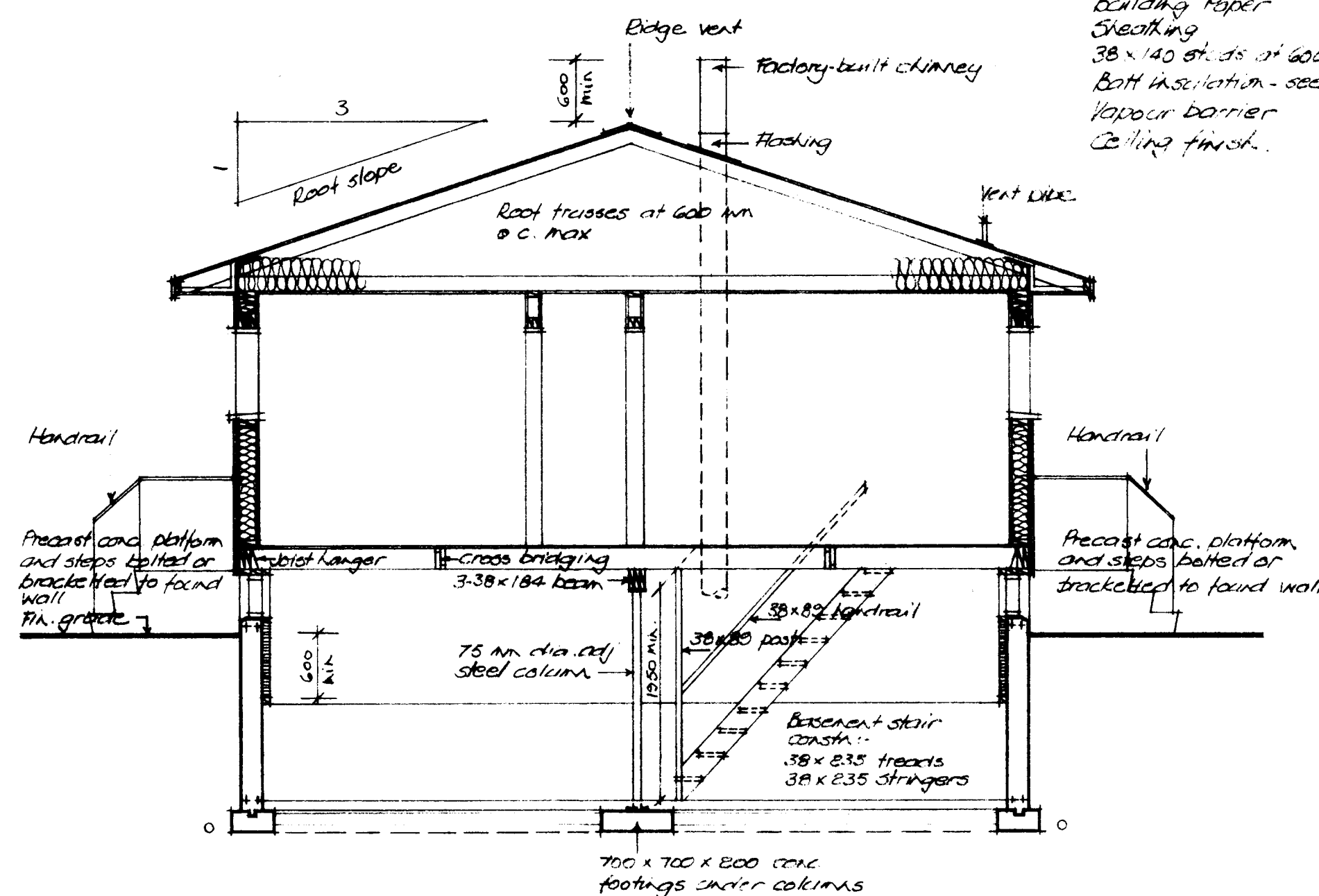
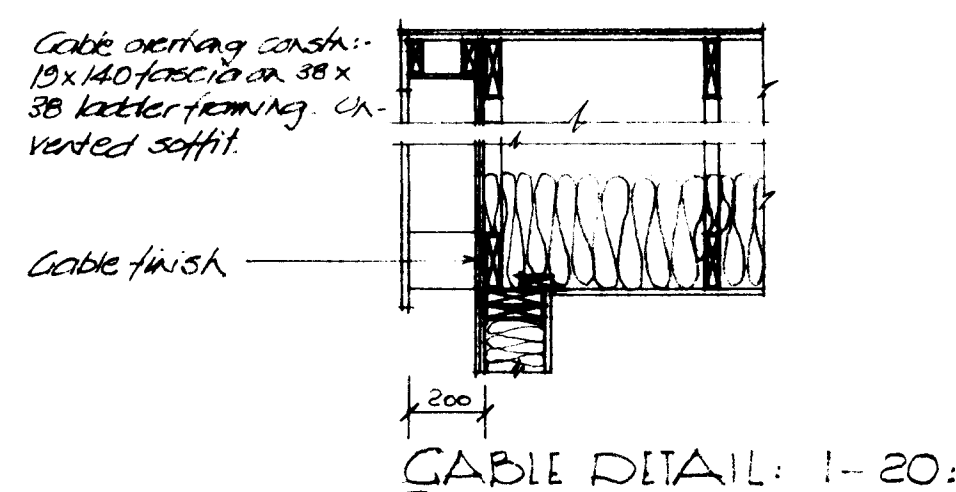
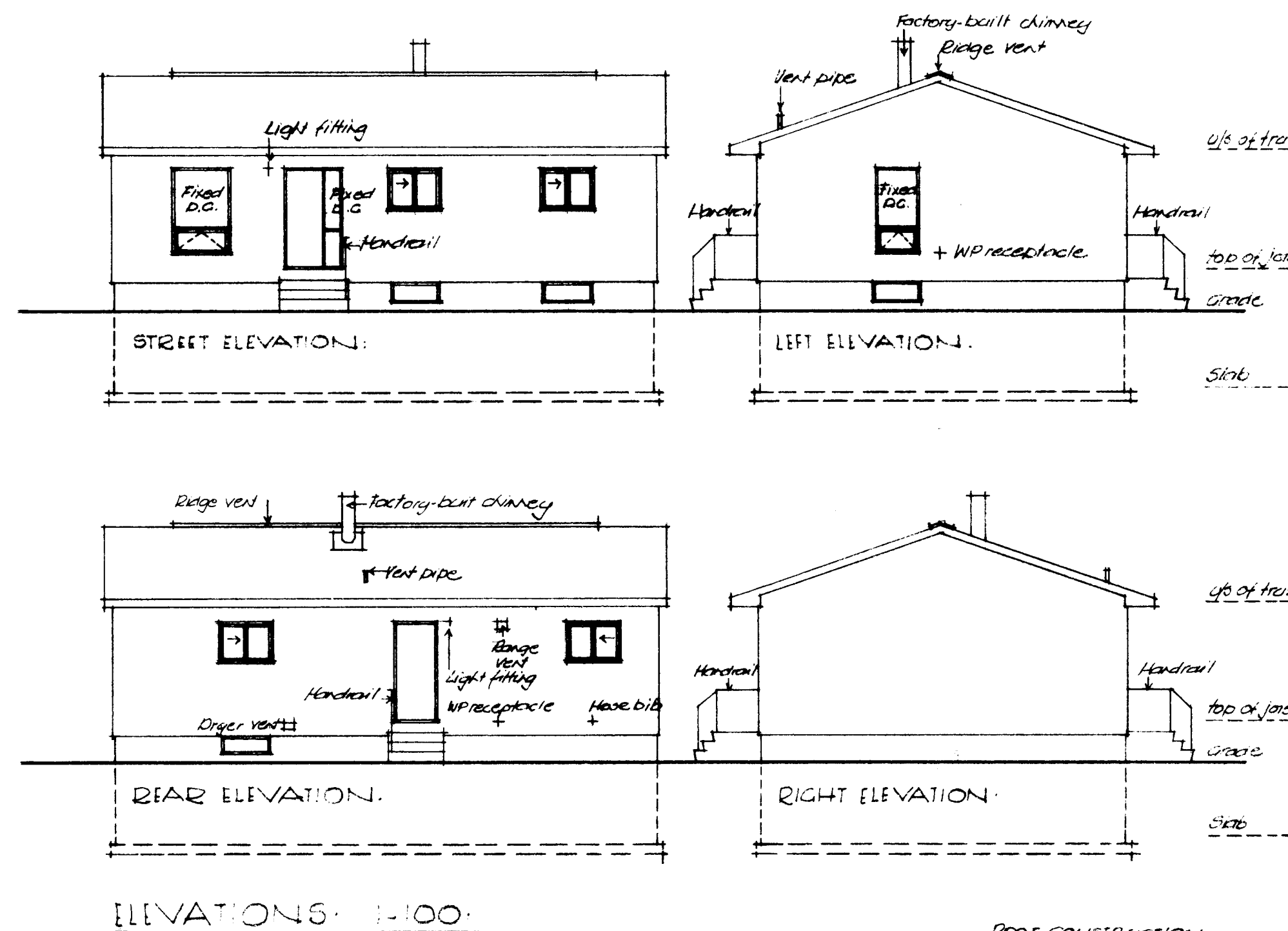
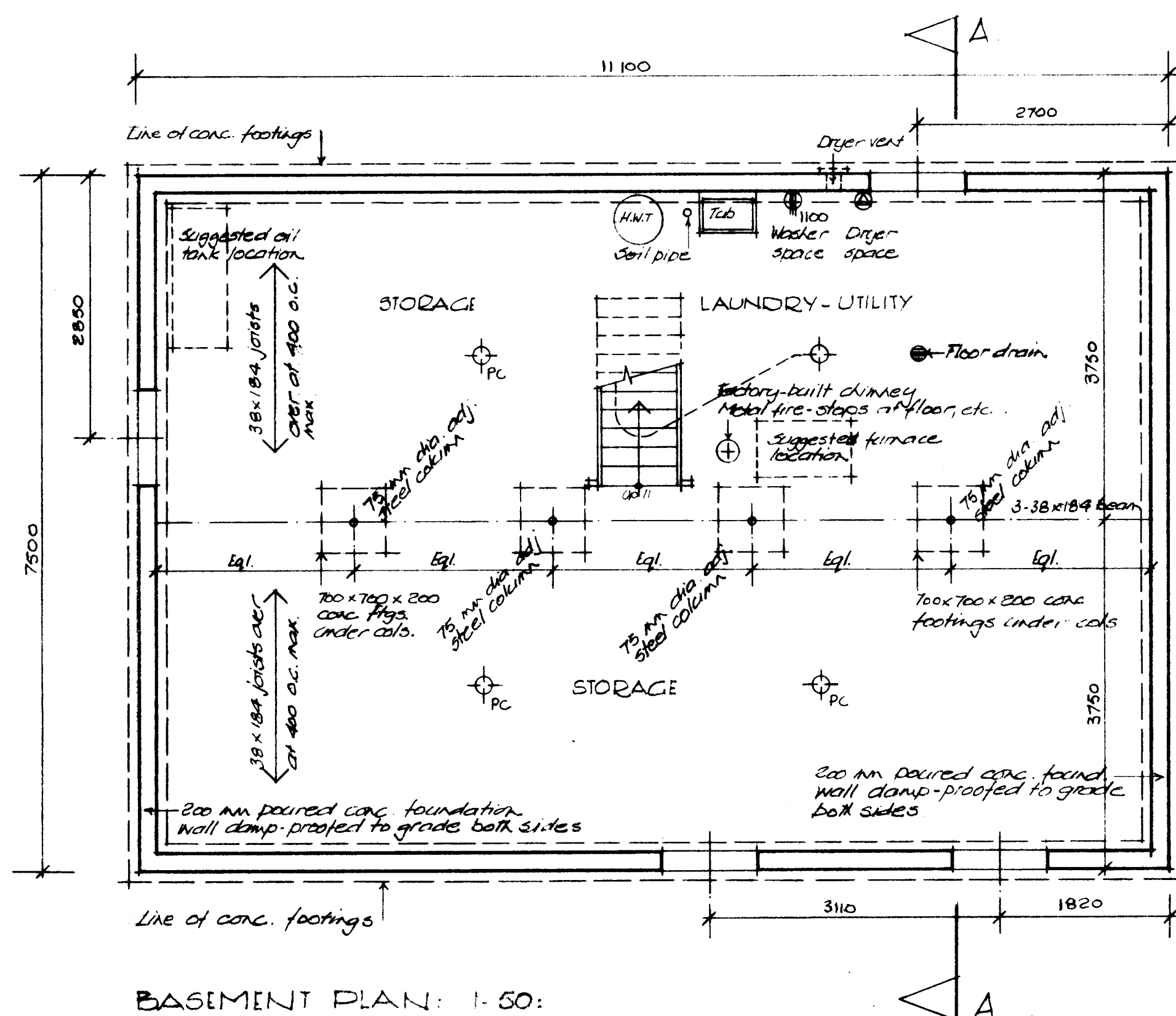
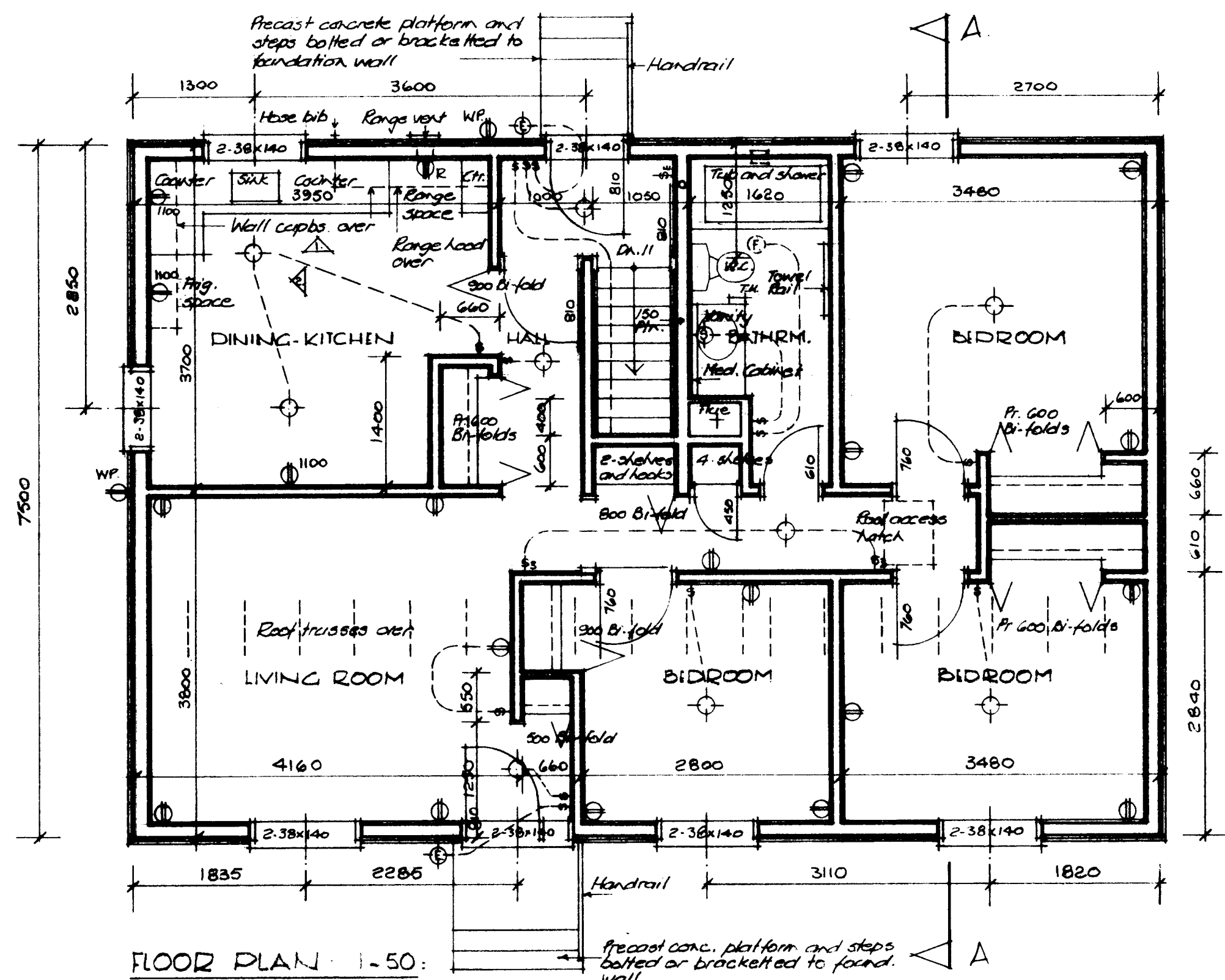


COUPE A-A: 1/4" = 1'-0"

- REMARQUES GÉNÉRALES
- TOUS LES EMPATTEMENTS ET LA FONDATION DOIVENT ÊTRE PORTÉS JUSQU'À UN APPUI SOLIDE ET EN BAS DU NIVEAU ACCEPTÉ LOCALEMENT POUR LA GELÉE. IL PEUT ÊTRE NÉCESSAIRE D'augmenter LES DIMENSIONS DES EMPATTEMENTS ET DE LA FONDATION POUR RÉPONDRE AUX CONDITIONS LOCALES DU SOL.
 - LES SOLIVES DOIVENT ÊTRE JUMELÉES SOUS TOUTES LES CLOISONS QUI LEUR SONT PARALLÈLES. CES SOLIVES JUMELÉES PEUVENT ÊTRE ÉCARTÉES DE 8" PAR DES BLOCS À TOUTES LES 4' C.C. POUR PERMETTRE LE PASSAGE DES CONDUITS DE CHAUFFAGE.
 - DANS DES CONDITIONS NORMALES DE CHARGEMENT, LES LITEAUX EN BOIS AU-DESSUS DES PORTES, DES FENÊTRES, ETC., DANS LES MURS EXTÉRIEURS ET INTÉRIEURS DOIVENT ÊTRE PLACÉS SUR LA RIVE.
 - L'EMPLACEMENT ET LE NOMBRE DES SORTIES ÉLECTRIQUES PEUVENT ÊTRE VARIÉS MAIS DANS TOUTS LES CAS ILS DOIVENT RÉPONDRE AUX EXIGENCES MINIMALES DES NORMES DE MAISON ET ÊTRE CONFORMES AUX CODES LOCAUX.
 - IL FAUT PRÉVOIR UNE TABLETTE ET UNE BARRE À CINTRES DANS LE VESTIAIRE ET LES GARDE-ROBES.
 - IL PEUT ÊTRE NÉCESSAIRE DANS CERTAINES LOCALITÉS D'augmenter LE MATÉRIAU ISOLANT POUR ASSURER LA RÉSISTANCE VOULUE À LA TRANSMISSION DE LA CHALEUR, DANS CETTE RÉGION.
 - LES MEMBRES DE CHARPENTE SONT CALCULÉS POUR UNE SURCHARGE DE TOIT DE LIVRES PAR PIED CARRÉ. ADVENANT UNE CHARGE DE TOIT EN EXCÉDENT DE LA CHARGE CALCULÉE, DANS CERTAINES RÉGIONS, IL SERA NÉCESSAIRE DE RECALCULER LES MEMBRES DE CHARPENTE EN CONSÉQUENCE.
 - TOUS LES MEMBRES DE CHARPENTE SONT EN BOIS DE LA CATÉGORIE CONSTRUCTION ET DE L'ESSENCE SAUF ANNOTATION CONTRAIRE SUR LES DESSINS.
 - LA CONSTRUCTION DOIT ÊTRE CONFORME AU CODE CANADIEN POUR LA CONSTRUCTION D'HABITATIONS ET À TOUT CODE LOCAL APPLICABLE.
 - CETTE ÉPURE EST DESTINÉE À SERVIR DE GUIDE SEULEMENT. IL INCOMBE À L'USAGER DE DÉCIDER EN DÉFINITIVE DU CHOIX FINAL AINSI QUE DES MÉTHODES ET DES DÉTAILS CONSTRUCTION, DE MÊME QUE DES MATÉRIAUX.

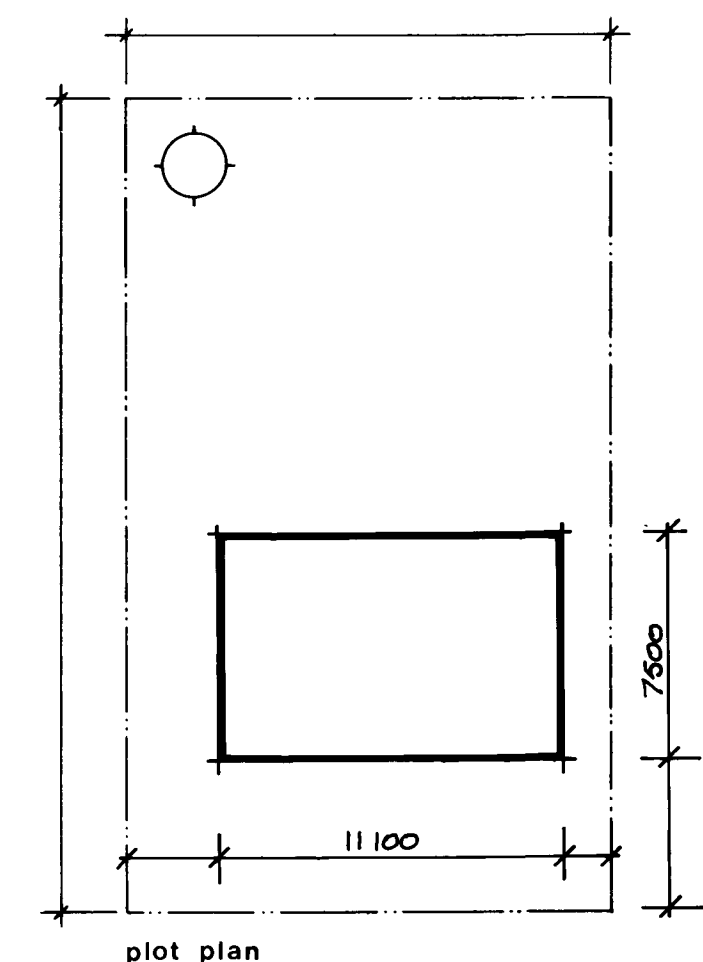


Normes LNH Vérifié par	Date	Revisions	Par
Architecte			
SCHL			
Date			
Dessin No.		Feuille No.	
A-1			



- GENERAL NOTES**
- ALL FOOTINGS AND FOUNDATIONS SHALL REST ON UNDISTURBED SOIL OR ROCK. FOOTINGS AND FOUNDATIONS MAY HAVE TO BE INCREASED TO SUIT EXISTING LOCAL SOIL CONDITIONS.
 - DOUBLE JOISTS REQUIRED UNDER PARTITIONS RUNNING PARALLEL TO THE FLOOR JOISTS MAY BE BLOCKED APART 200 mm AT 1200 mm O.C. TO PERMIT THE PASSAGE OF HEATING DUCTS ETC.
 - THE POSITION AND NUMBER OF ELECTRICAL OUTLETS MAY BE RELOCATED BUT MUST IN ALL CASES MEET THE MINIMUM REQUIREMENTS OF THE RESIDENTIAL STANDARDS AND COMPLY WITH LOCAL CODES.
 - PROVIDE A ROD AND AT LEAST ONE SHELF IN ALL COAT AND CLOTHES CLOSETS.
 - ALL FLOOR JOISTS ARE DESIGNED TO NO. 1 GRADE SPRUCE. ANY CHANGE OR SUBSTITUTION MUST BE APPROVED BY AUTHORITY HAVING JURISDICTION.
 - ALL CONSTRUCTION MUST COMPLY WITH THE RESIDENTIAL STANDARDS CURRENT AT THE TIME OF CONSTRUCTION AND ANY APPLICABLE LOCAL CODES.
 - THIS DRAWING IS INTENDED AS A GUIDE ONLY. THE FINAL CHOICE AND USE OF MATERIALS, AND METHODS AND DETAILS OF CONSTRUCTION, IS THE RESPONSIBILITY OF THE USER.
 - TOTAL R VALUES MUST COMPLY WITH CURRENT C.M.H.C. STANDARDS AS APPLICABLE TO LOCATION. 38 x 89 STUDS AT 400 mm SPACING MAY BE USED FOR EXTERNAL WALLS IN LIEU OF 38 x 140 SHOWN IF REQUIRED R VALUES CAN BE ACHIEVED.
 - WINDOW SIZES MUST COMPLY WITH CURRENT C.M.H.C. STANDARDS.

N. B. ALL DIMENSIONS ARE GIVEN IN MILLIMETRES UNLESS OTHERWISE NOTED.



date	n.h.a.	stds	chkd	by	revisions	by

CMHC SCHL
Central Mortgage and Housing Corporation
Société centrale d'hypothèques et de logement

designer

C.M.H.C.

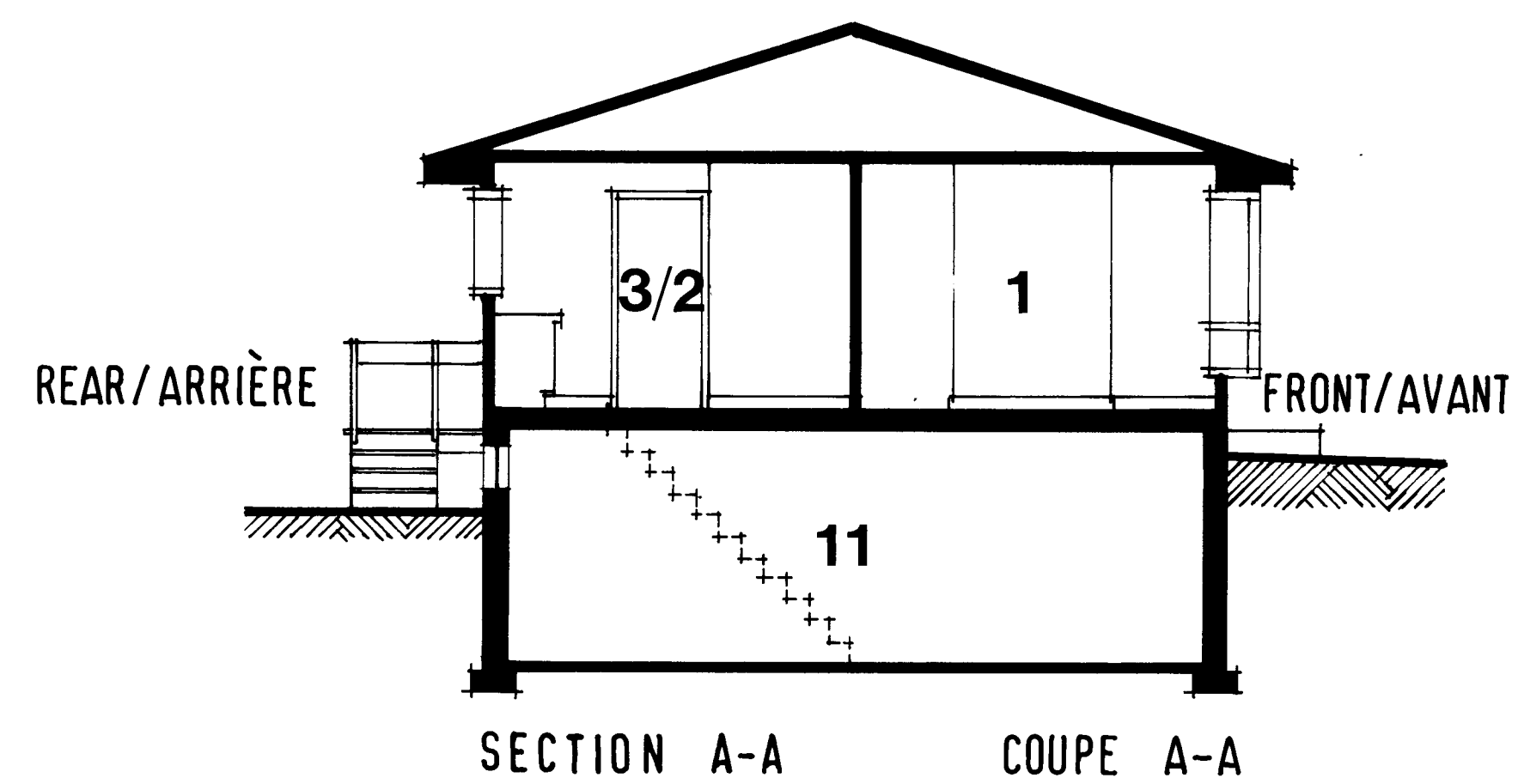
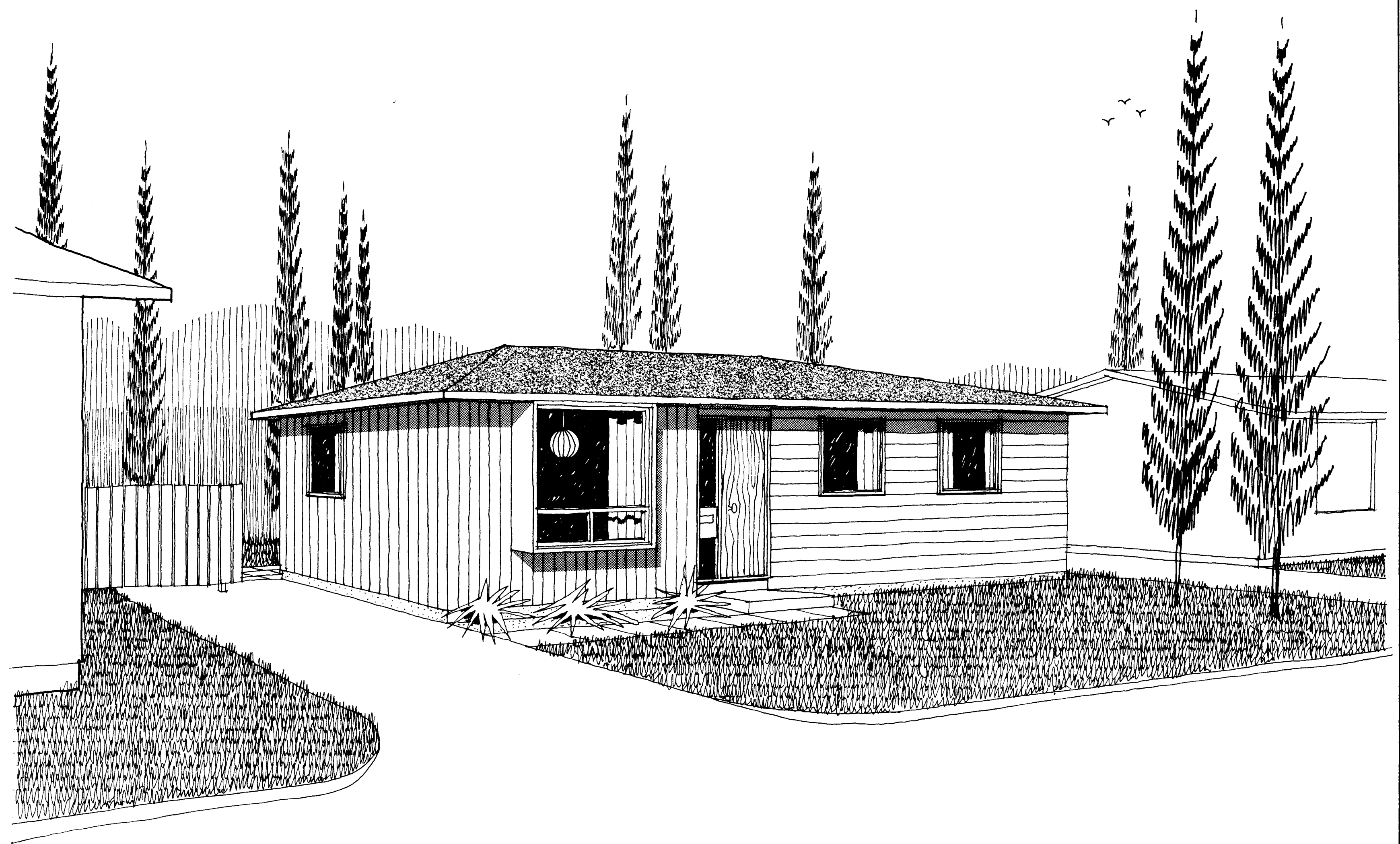
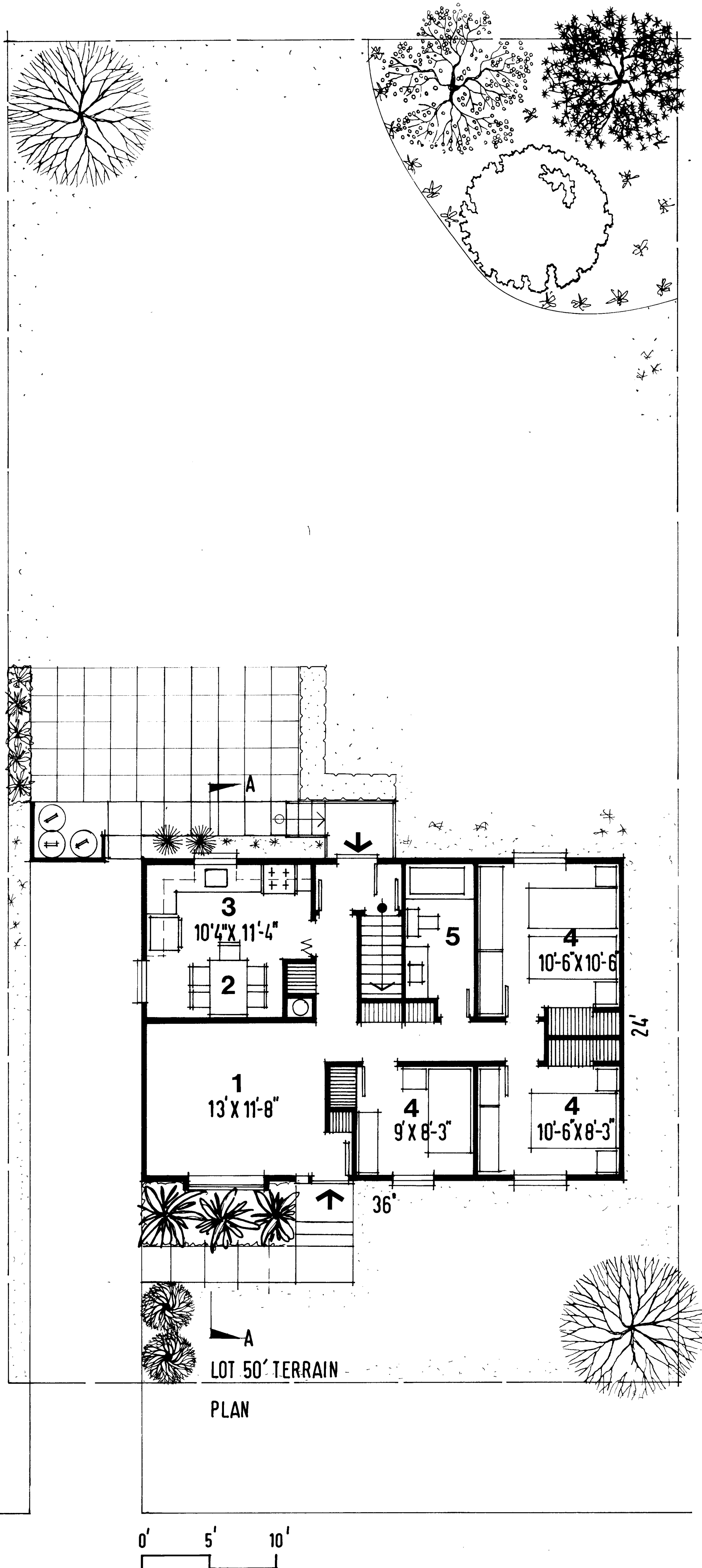
design no.

A-1, M

scale **As noted.**

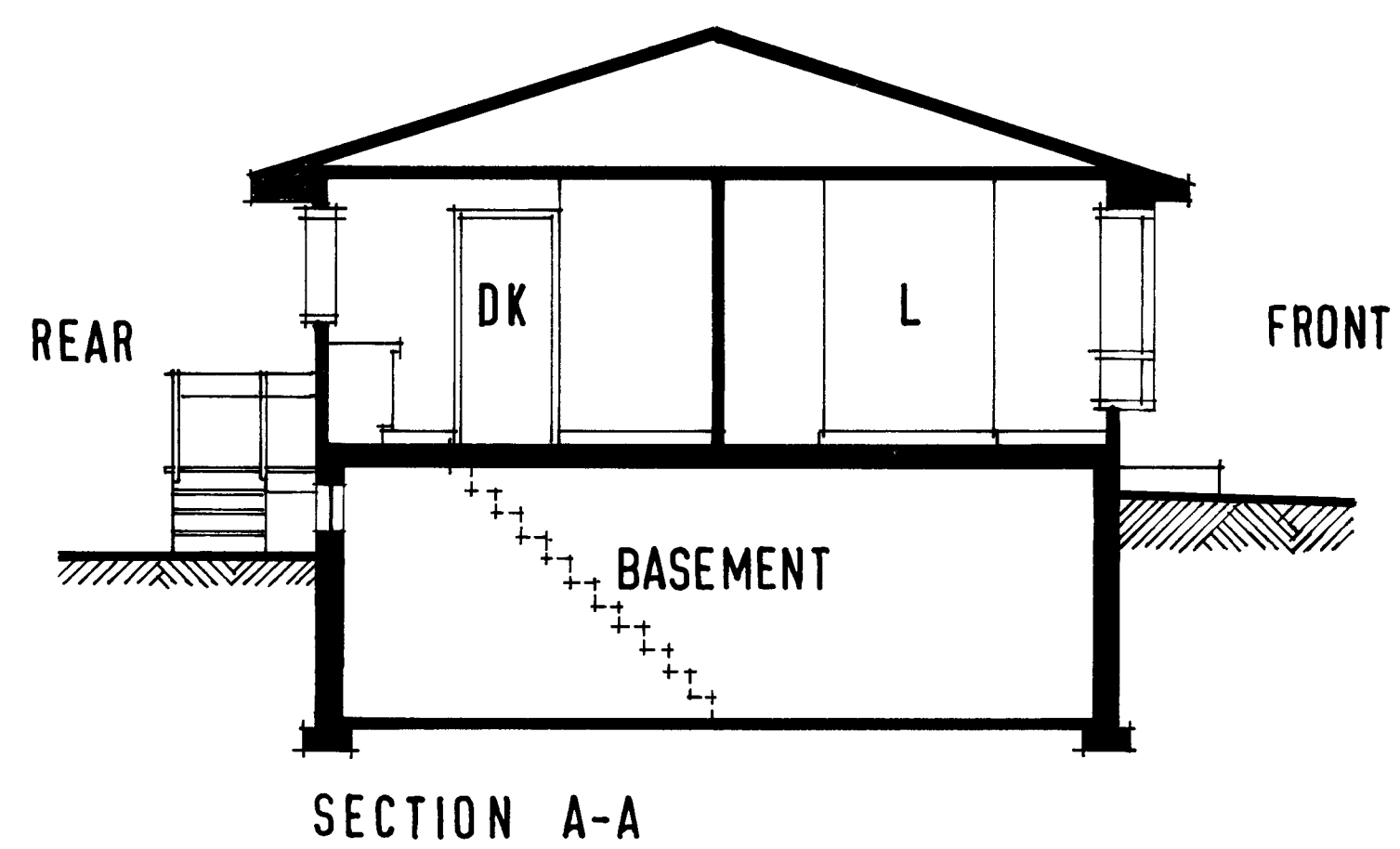
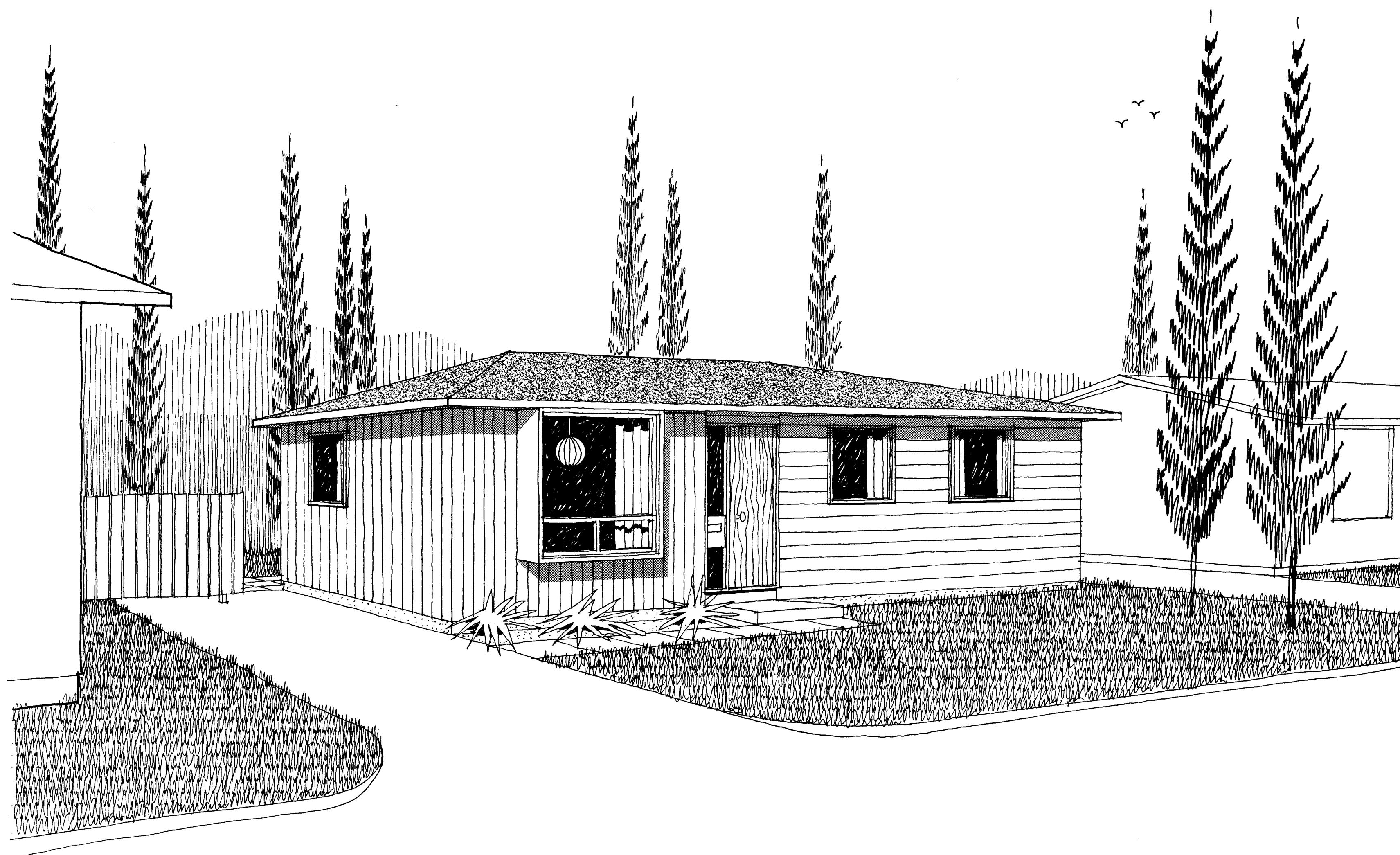
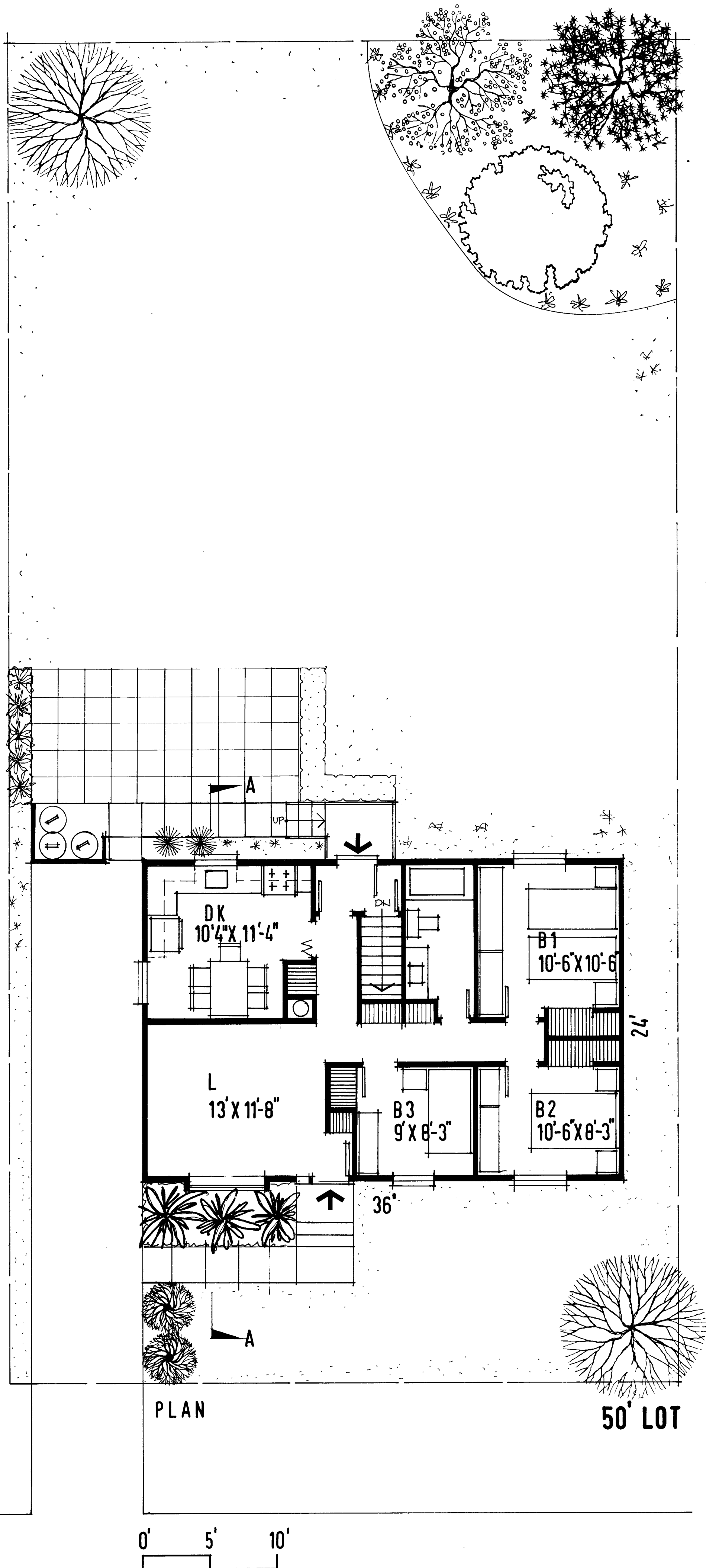
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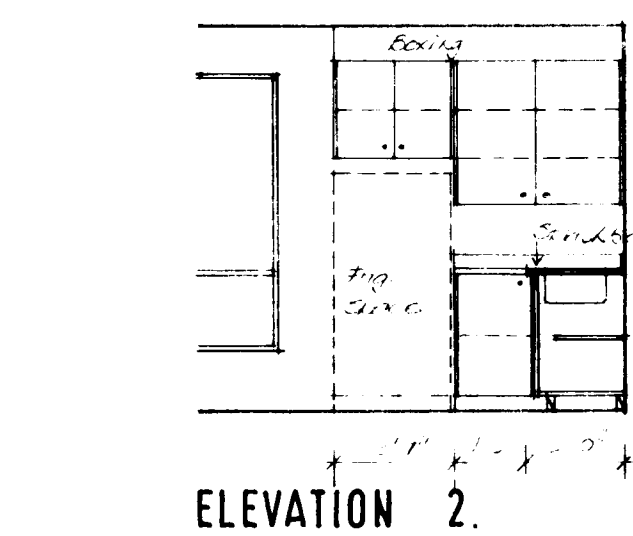
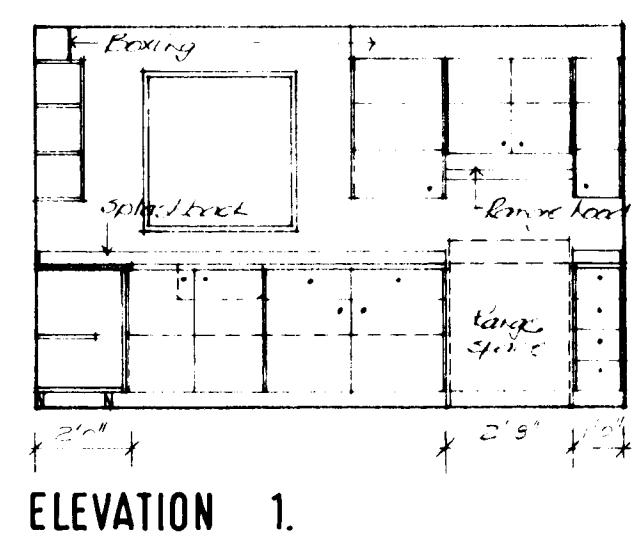
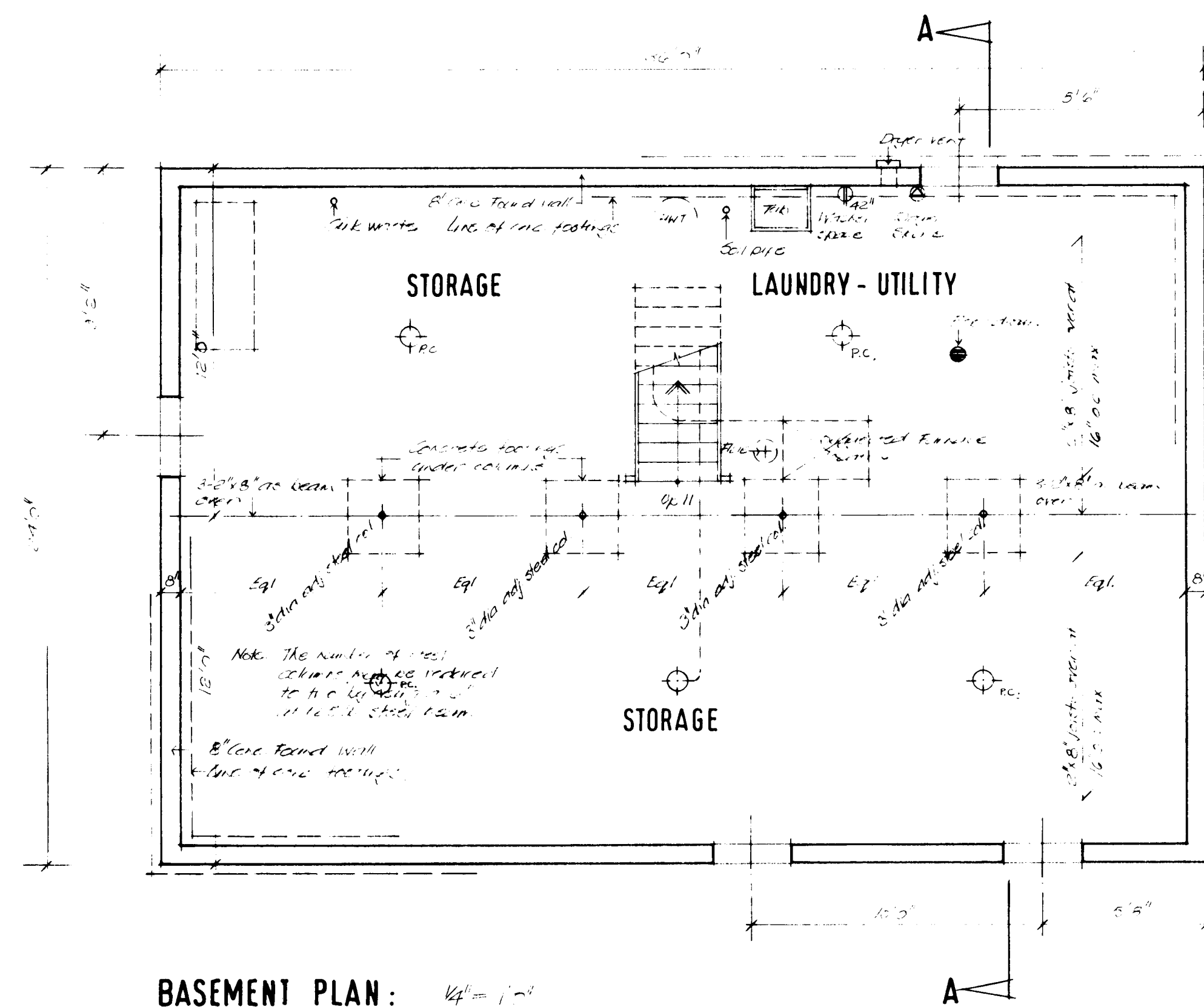
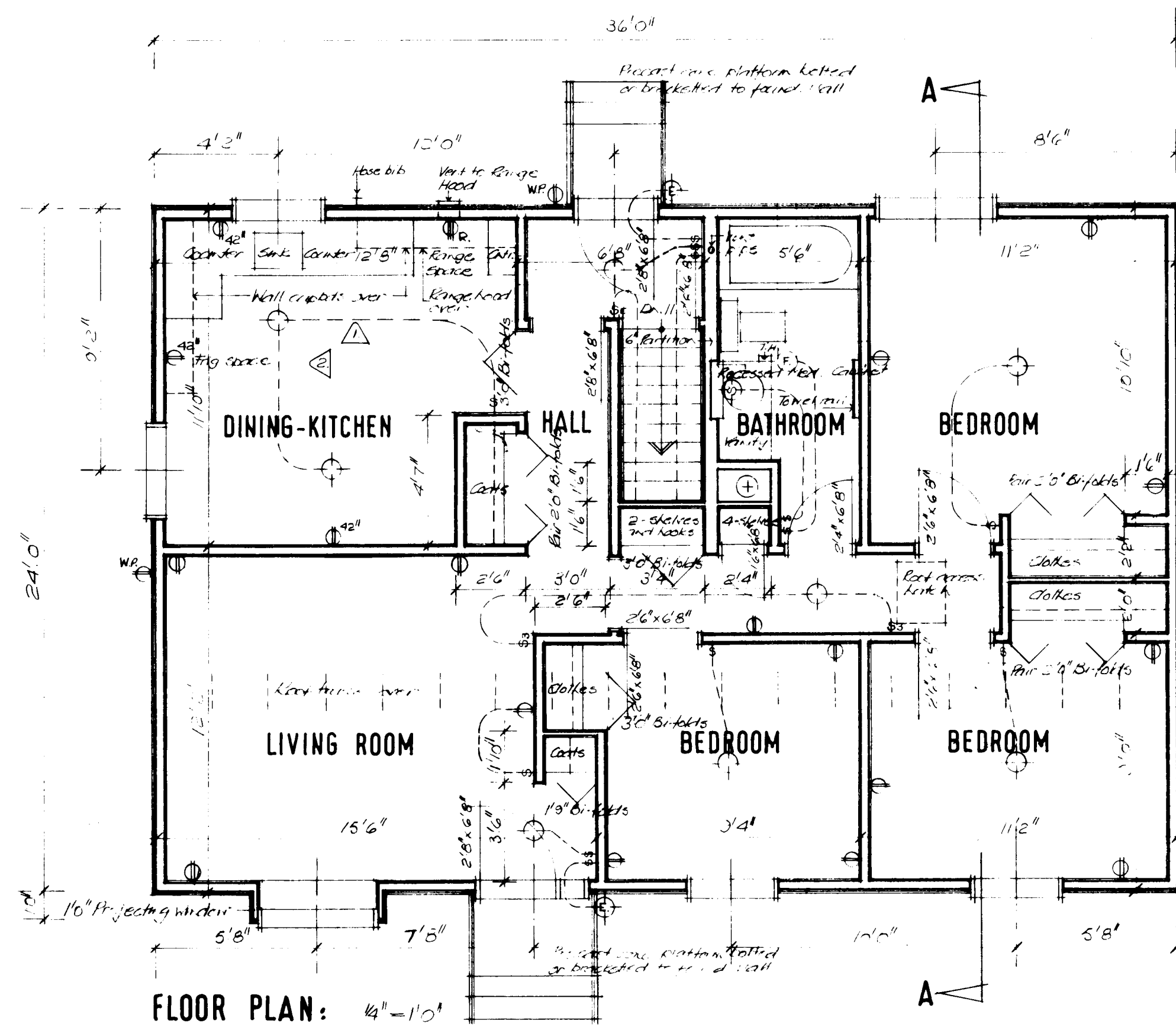
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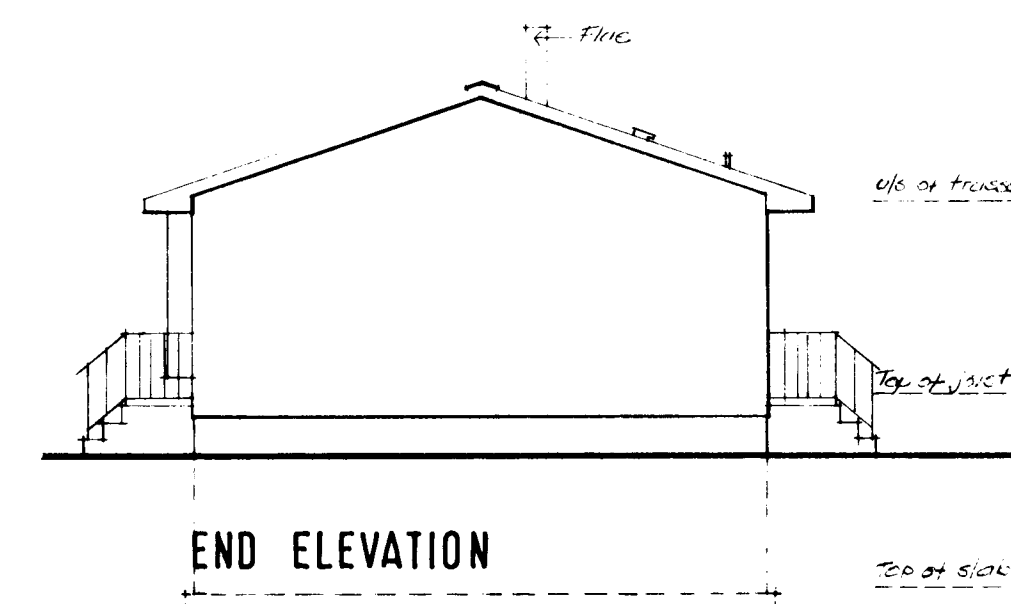
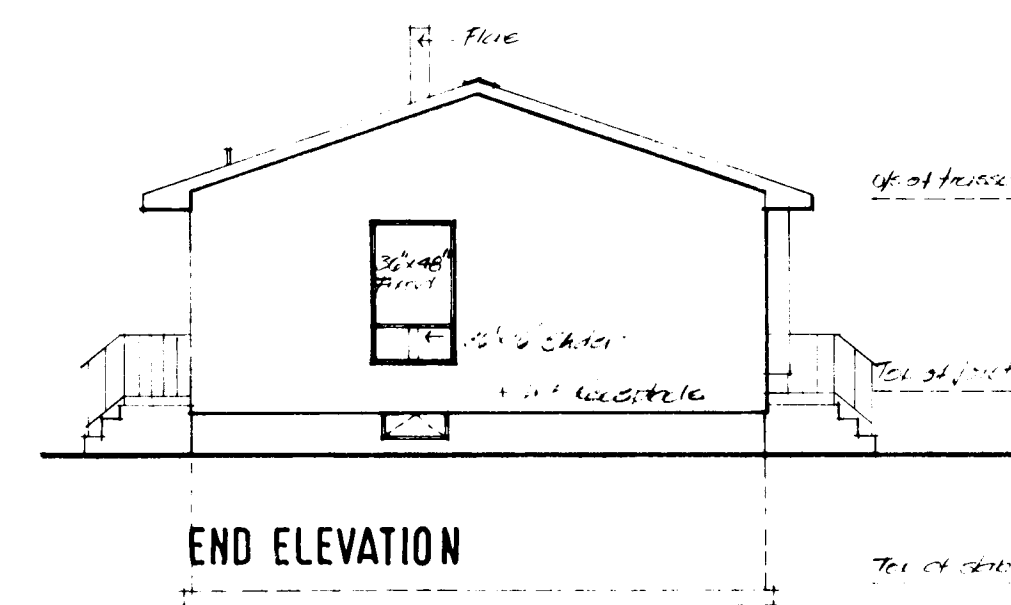


BUNGALOW
CMHC

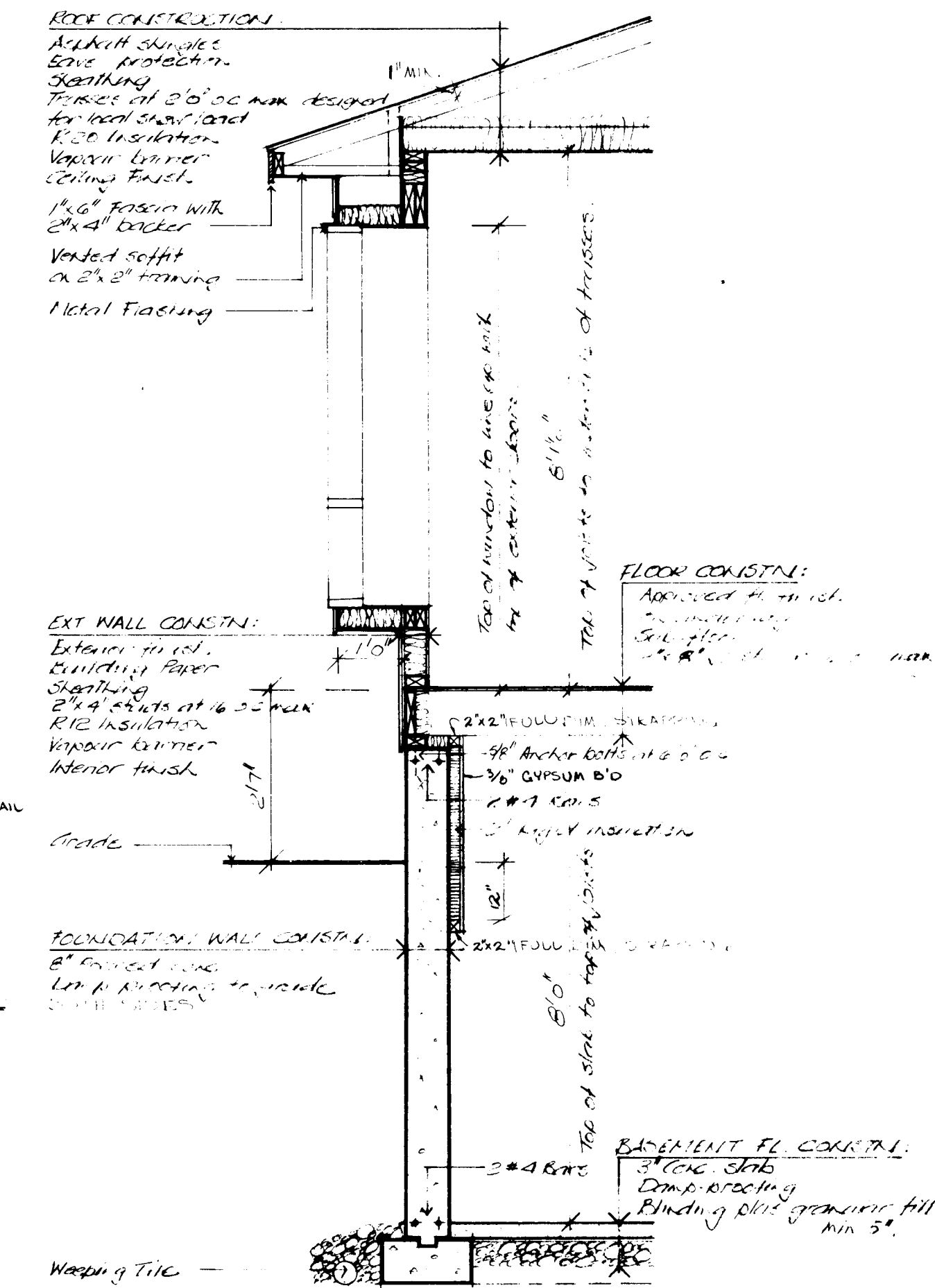
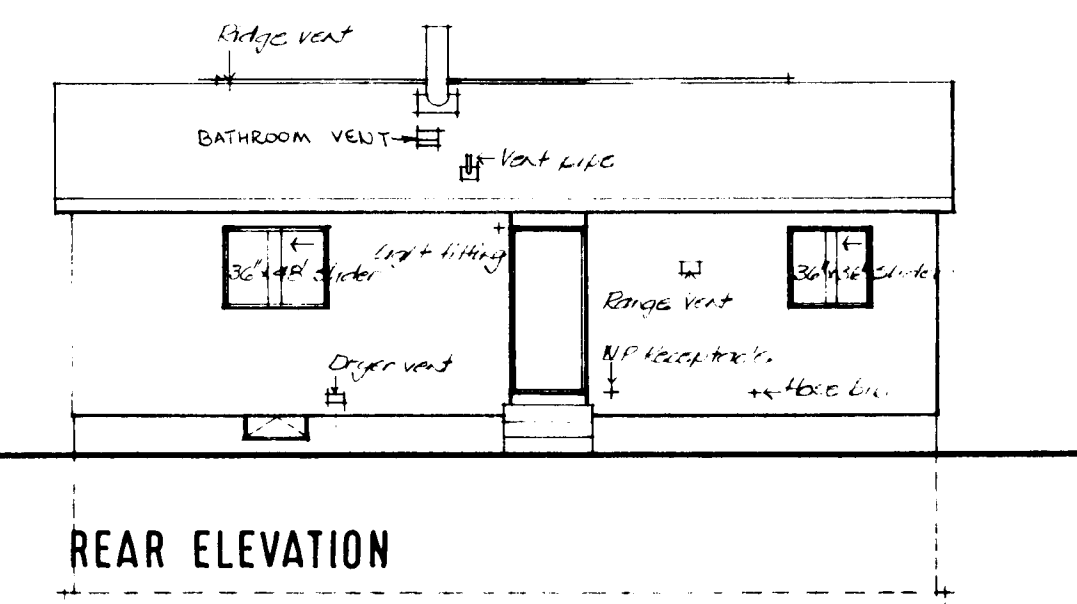
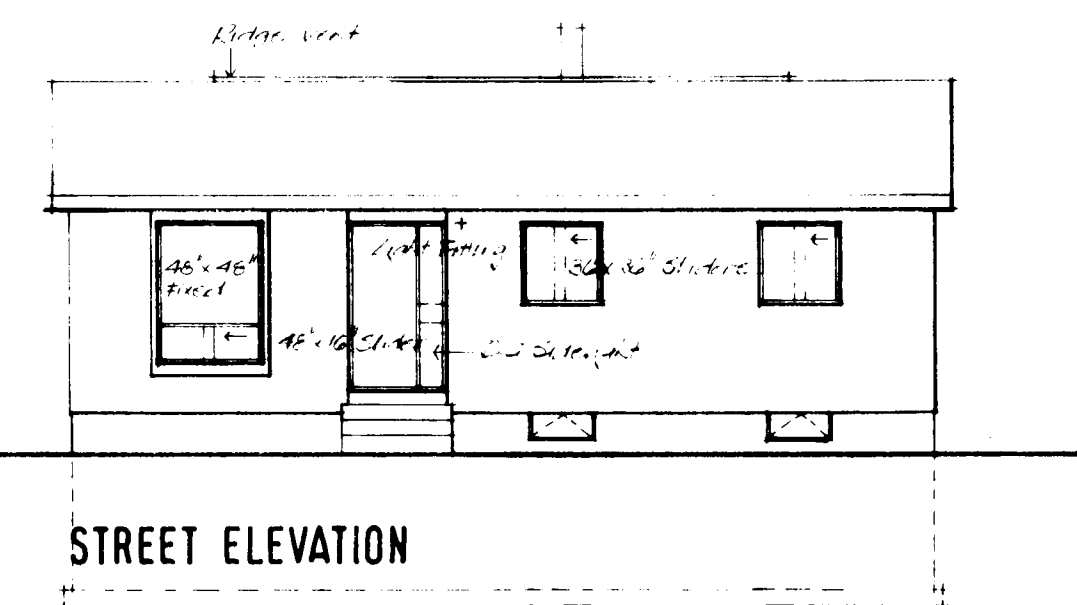
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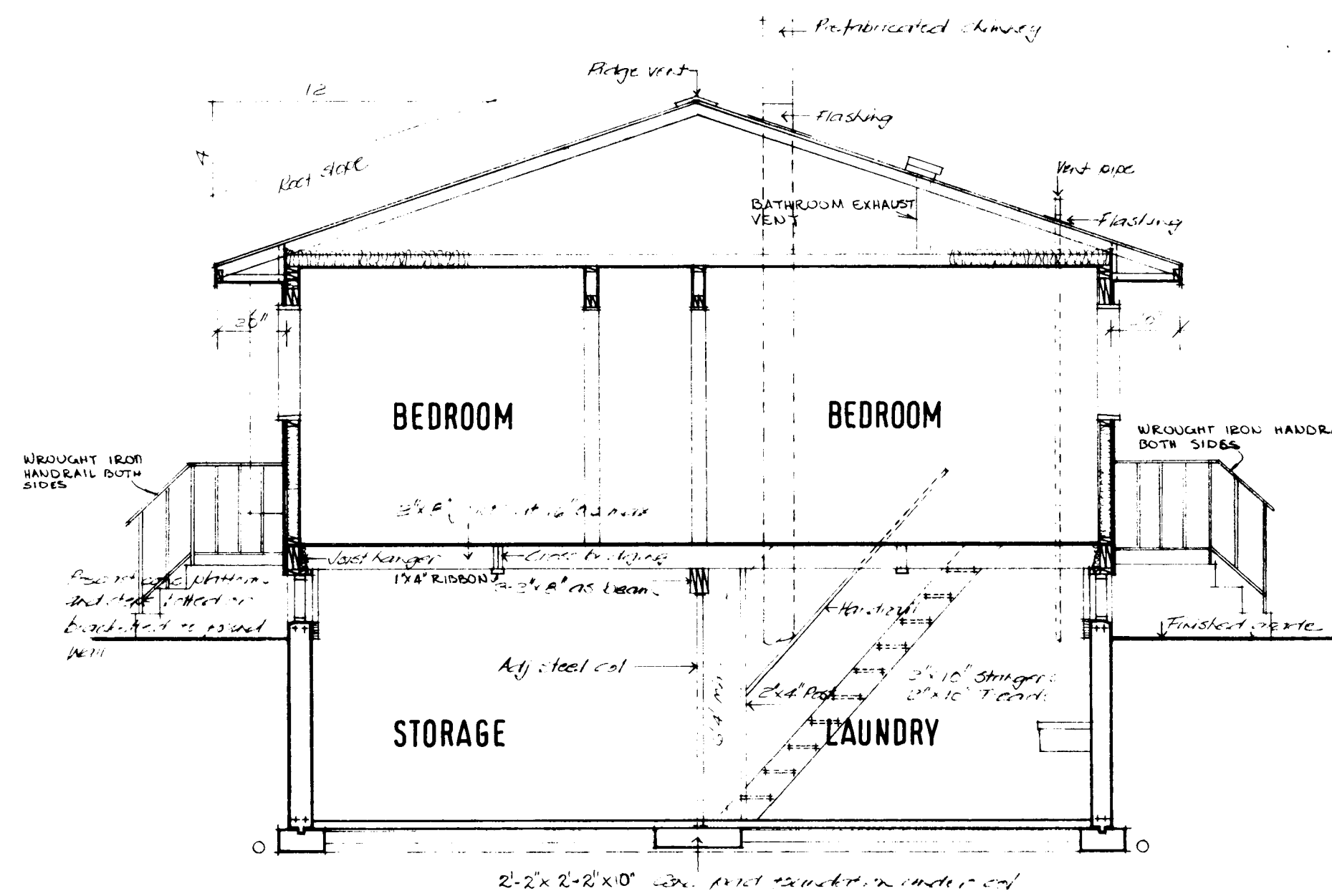
KITCHEN ELEVATIONS: 1/4" = 1'-0"



ELEVATIONS: 1/2" = 1'-0"



TYPICAL WALL SECTION: 1/2" = 1'-0"



SECTION A-A: 1/4" = 1'-0"

GENERAL NOTES

- ALL FOOTINGS AND FOUNDATIONS SHALL REST ON UNDISTURBED SOIL OR ROCK. FOOTINGS AND FOUNDATIONS MAY HAVE TO BE INCREASED TO SUIT EXISTING LOCAL SOIL CONDITIONS.
- DOUBLE JOISTS REQUIRED UNDER PARTITIONS RUNNING PARALLEL TO THE FLOOR JOISTS MAY BE BLOCKED APART 8" AT 4'-0" O.C. TO PERMIT THE PASSAGE OF HEATING DUCTS ETC.
- THE POSITION AND NUMBER OF ELECTRICAL OUTLETS MAY BE RELOCATED BUT MUST IN ALL CASES MEET THE MINIMUM REQUIREMENTS OF THE RESIDENTIAL STANDARDS AND COMPLY WITH LOCAL CODES.
- PROVIDE A ROD AND AT LEAST ONE SHELF IN ALL COAT AND CLOTHES CLOSETS.
- ALL FLOOR JOISTS ARE DESIGNED TO NO. 1 GRADE SPRUCE. ANY CHANGE OR SUBSTITUTION MUST BE APPROVED BY AUTHORITY HAVING JURISDICTION.
- ALL CONSTRUCTION MUST COMPLY WITH THE RESIDENTIAL STANDARDS CURRENT AT THE TIME OF CONSTRUCTION AND ANY APPLICABLE LOCAL CODES.
- THIS DRAWING IS INTENDED AS A GUIDE ONLY. THE FINAL CHOICE AND USE OF MATERIALS, AND METHODS AND DETAILS OF CONSTRUCTION, IS THE RESPONSIBILITY OF THE USER.

plot plan

19/5/76	C. Hansen	date	n.h.s.	stos	chkd	by	date	revisions	by
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Central Mortgage and Housing Corporation Société centrale d'hypothèques et de logement

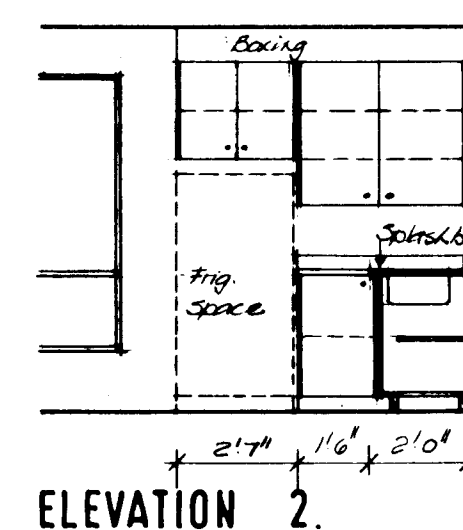
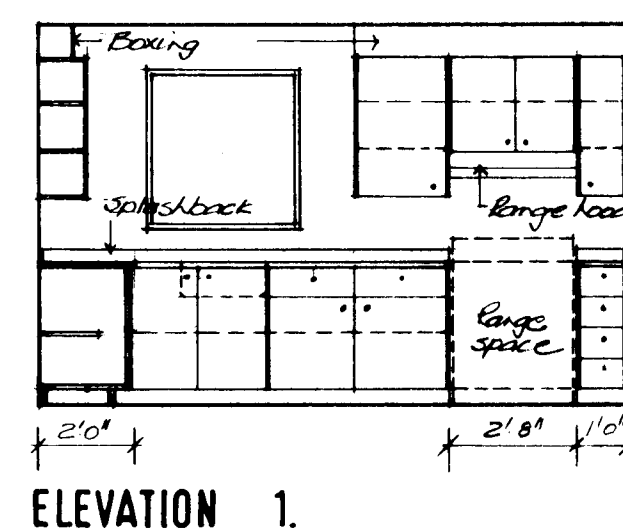
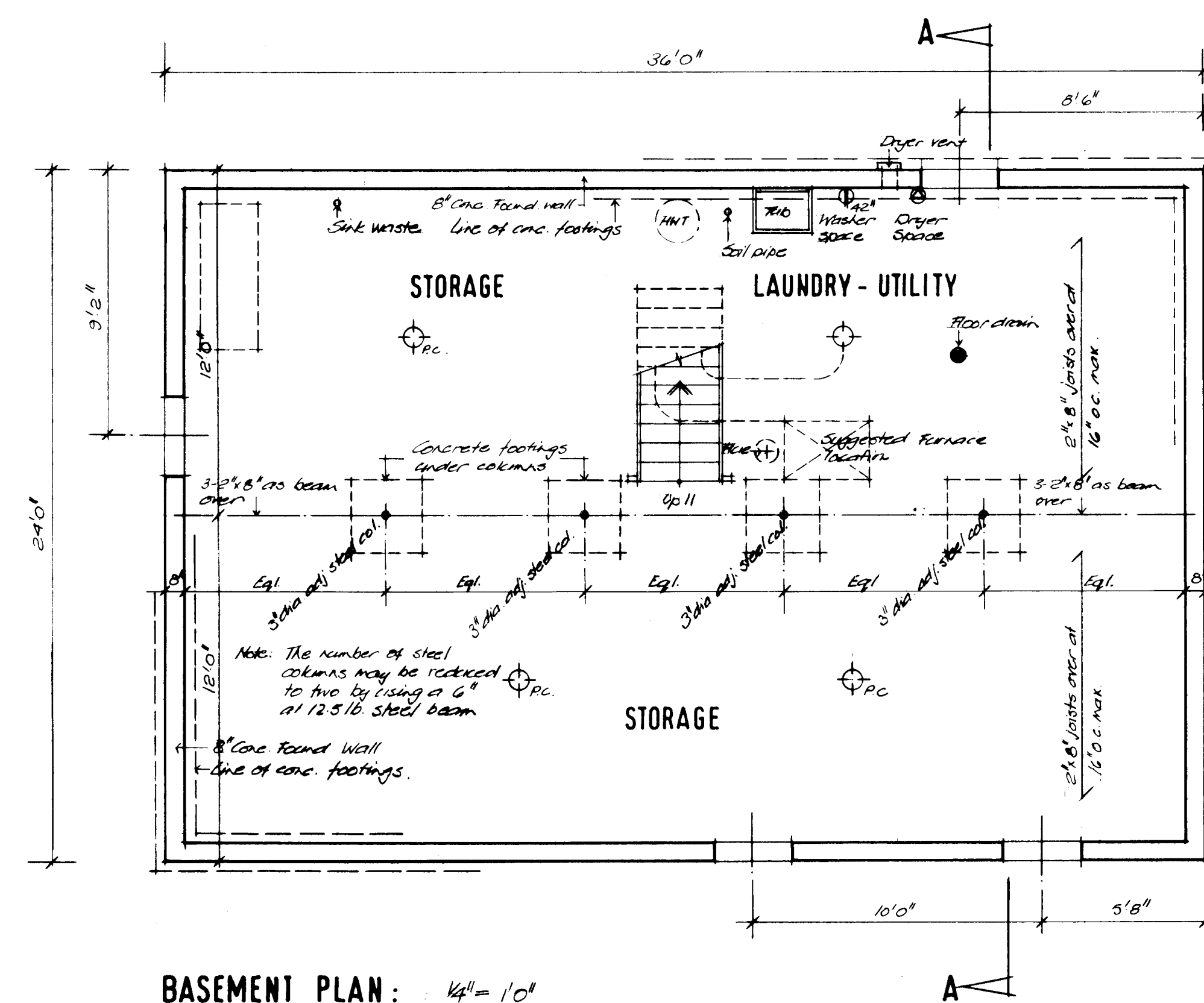
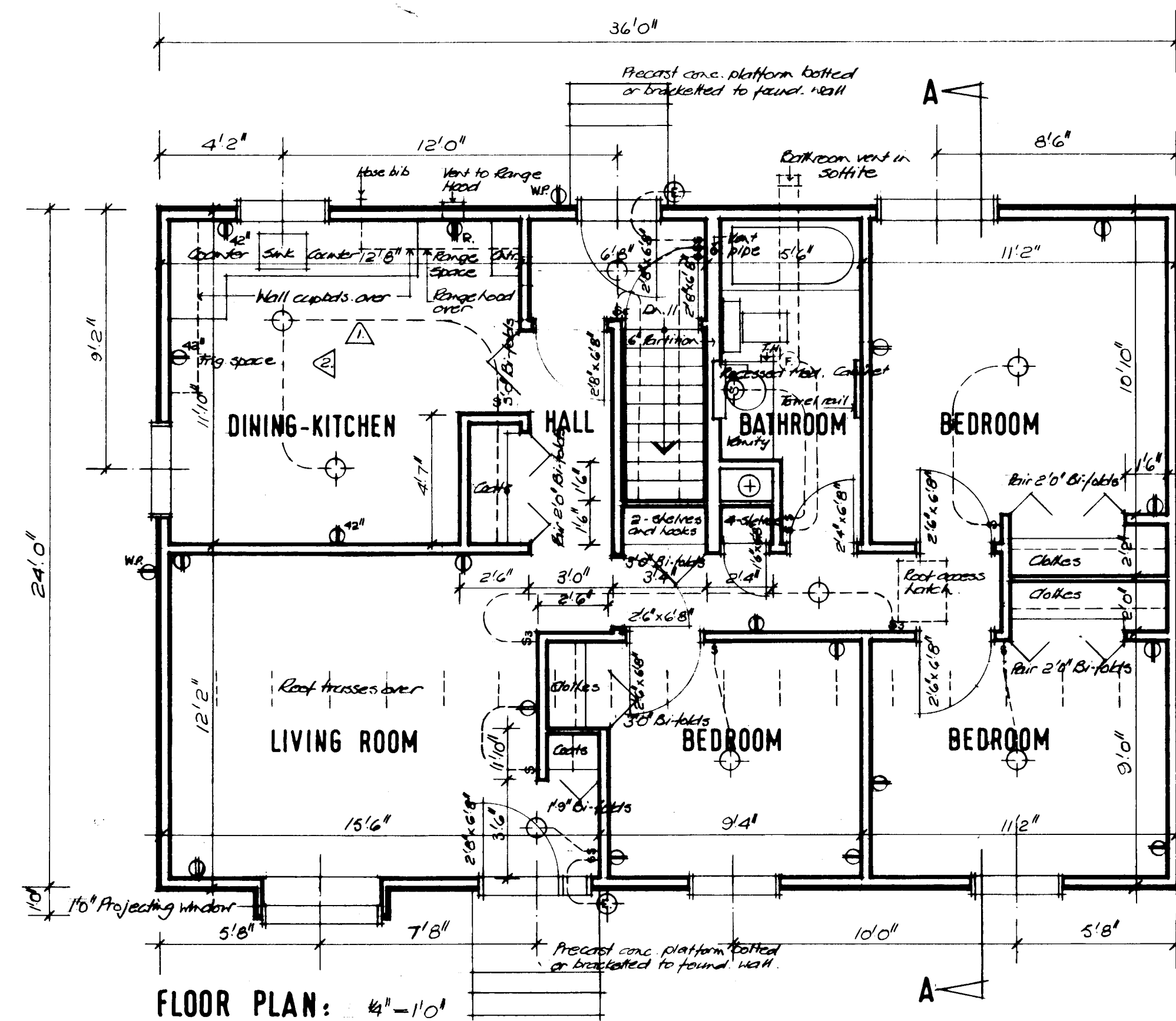
designer
C.M.H.C.

design no.
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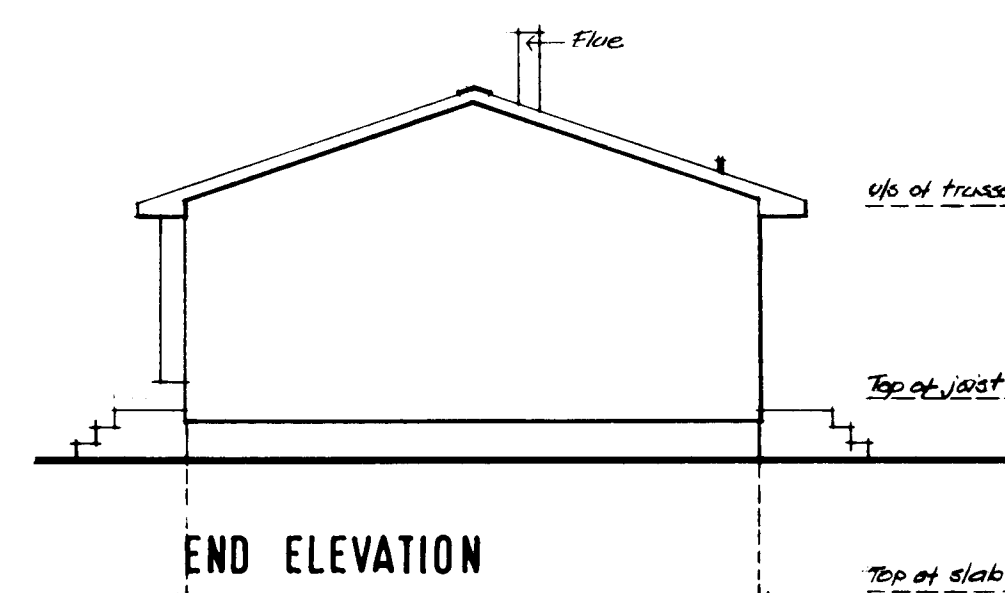
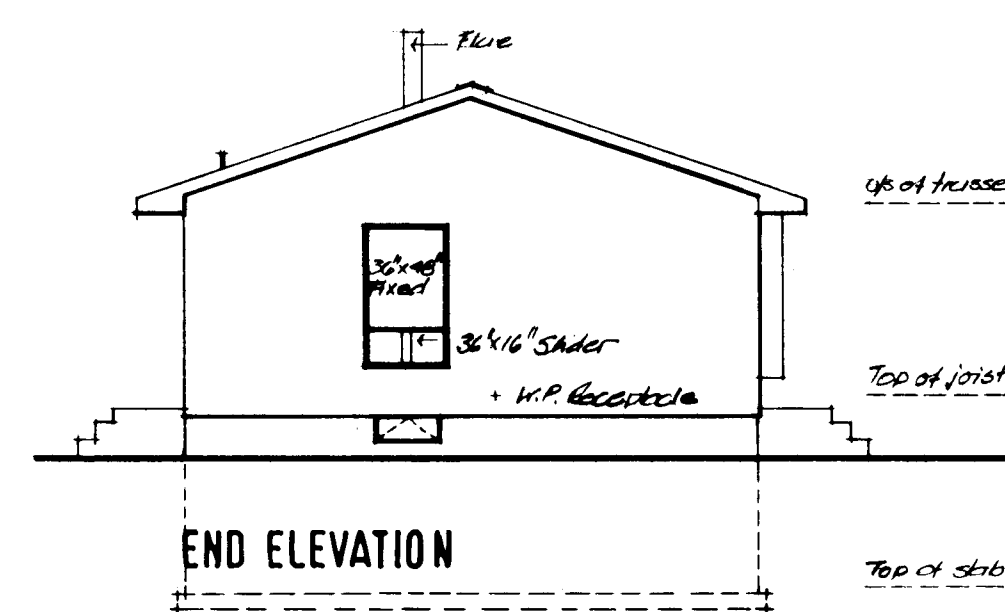
scale
as shown

date
May 1976

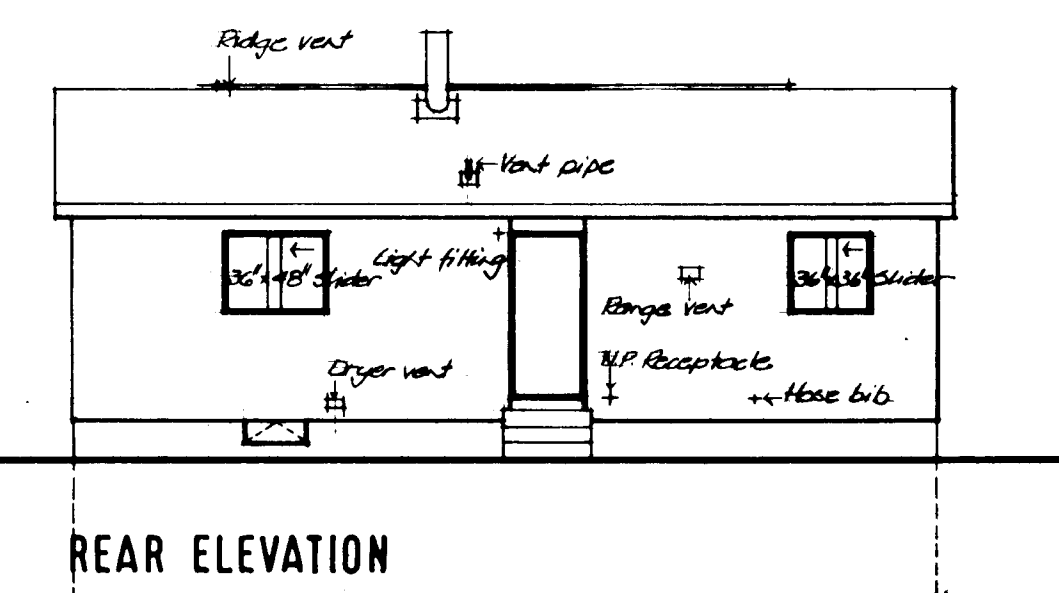
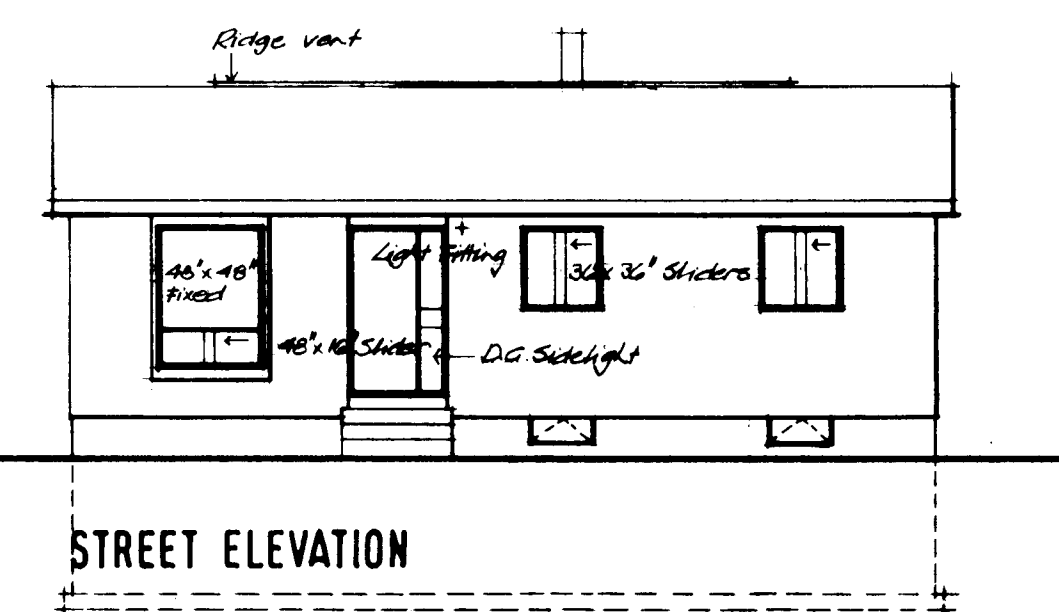
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KITCHEN ELEVATIONS: 44" - 1'0"

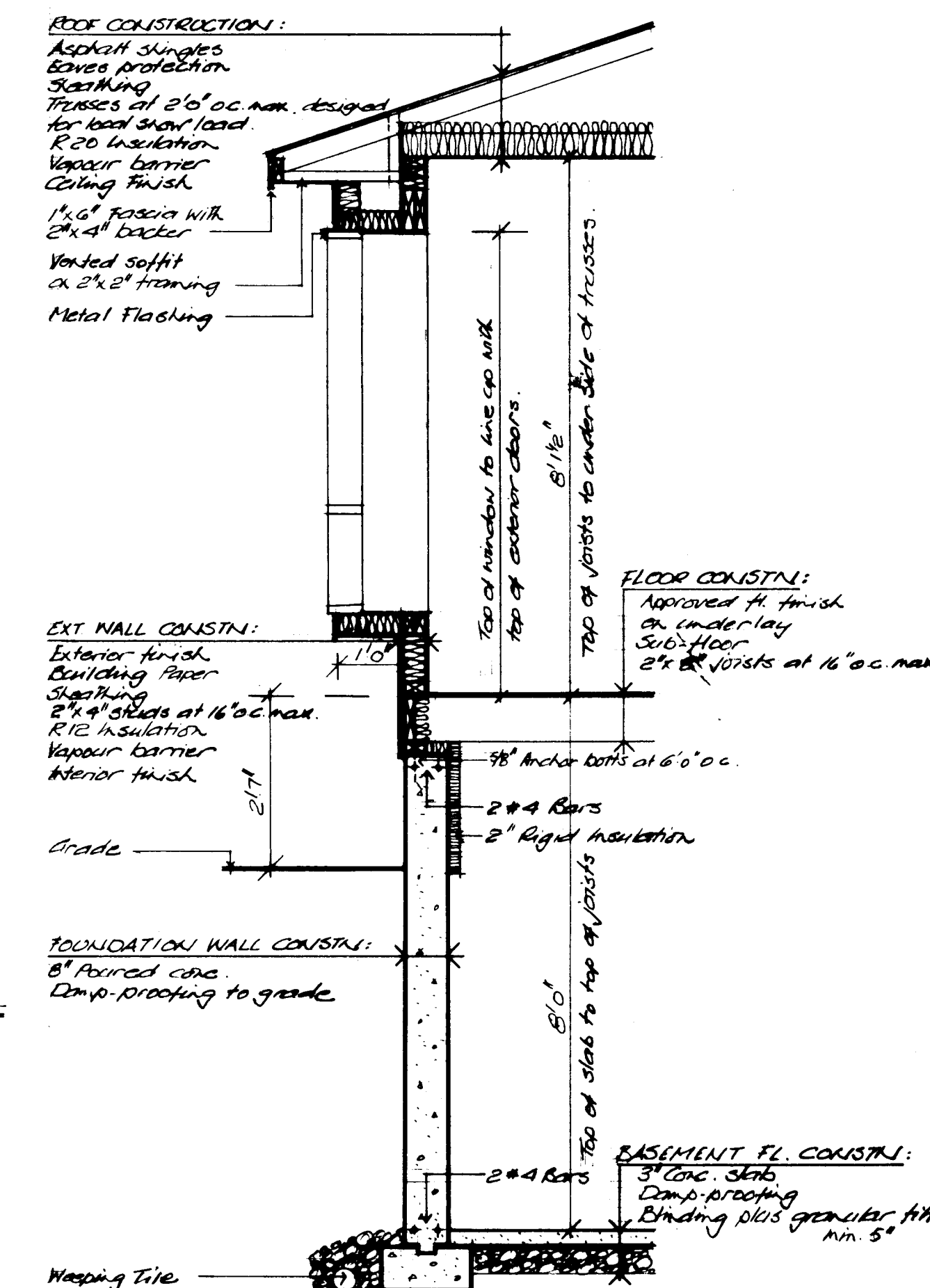


ELEVATIONS: $48'' = 1'0''$



ROOF CONSTRUCTION.

- Asphalt shingles
- Edge protection
- Stairing
- Trusses at 2'0" o.c. none for dead snow load.
- R20 insulation
- Vapor barrier
- Ceiling finish
- 1" x 6" fascia with 2" x 4" batten
- Vented soffit at 2' x 2" framing
- Metal flashing



EXT. WALL CONSTN.

Exterior finish
Building Paper
Sheathing
2"x4" studs at 16" o.c.
R12 Insulation
Vapour barrier
Interior finish

FOUNDATION WALL CONSTN

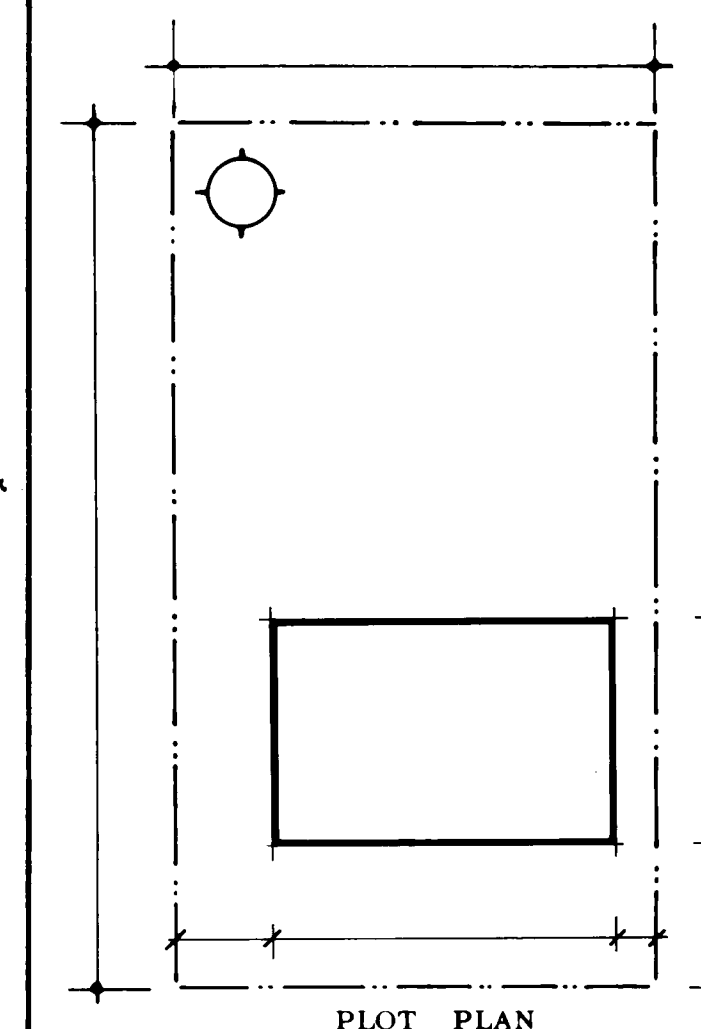
8" Poured conc.
Damp-proofing to grade

FLOOR CONSTN:

Approved fl. finish
on underlay
Sub-floor
2" x 4" joists at

BASEMENT FL. CONSTR.

3" Conc. slab
Damp-proofing
Binding plus granular
min. 5"



- ## GENERAL NOTES

1. ALL FOOTINGS AND FOUNDATIONS SHALL BE TAKEN DOWN TO SOLID BEARING AND BELOW THE ACCEPTED LOCAL FROST PENETRATION LINE. FOOTINGS AND FOUNDATIONS MAY HAVE TO BE INCREASED TO SUIT EXISTING SOIL CONDITIONS.
2. DOUBLED JOISTS REQUIRED UNDER PARTITIONS RUNNING PARALLEL TO THE FLOOR JOISTS MAY BE BLOCKED APART 8" AT 4'-0" O.C. TO PERMIT THE PASSAGE OF HEATING DUCTS ETC.
3. FOR ORDINARY LOADING CONDITIONS, WOOD LINTELS OVER DOORS, WINDOWS ETC. IN EXTERIOR AND INTERIOR WALLS SHALL BE PLACED ON EDGE.
4. THE POSITION AND NUMBER OF ELECTRICAL OUTLETS MAY BE RE-LOCATED BUT MUST IN ALL CASES MEET THE MINIMUM REQUIREMENTS OF THE HOUSING STANDARDS AND COMPLY WITH LOCAL CODES.
5. PROVIDE A SHELF AND ROD IN THE COAT AND CLOTHES CLOSETS.
6. ADDITIONAL INSULATING MATERIAL MAY BE NECESSARY IN CERTAIN LOCALITIES TO PROVIDE THE REQUIRED RESISTANCE TO HEAT FLOW FOR SUCH AREA.
- 7a) THE STRUCTURAL MEMBERS ARE DESIGNED FOR A LIVE ROOF LOAD OF LBS PER SQUARE FOOT. IN AREAS WHERE A ROOF LOAD IN EXCESS OF THE DESIGN LOAD IS EXPECTED, IT WILL BE NECESSARY TO REDESIGN THE STRUCTURAL MEMBERS ACCORDINGLY.
- b) ALL STRUCTURAL MEMBERS WILL BE CONSTRUCTION GRADE AND SPECIES UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. *Construction must comply with the Canadian Code for Residential Construction and any local applicable codes.*
9. *This drawing is intended as a Guide only. The final choice and use of methods and details of construction and materials is the responsibility of the user.*

DATE	NHA	STDS	CHKD	BY	DATE	REVISIONS	BY
NHA 5120-1					ARCHITECT		
					CMHC		
					DATE		
NHA 5120-1					DESIGN NO.		SHEET NO.
					A-1		1 of 1
CENTRAL MORTGAGE AND CORPORATION							