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Contenu archivé

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COMPETITION SERIES

Project #: 814 Both Number of Sheets: 3
Architect: K. Briestensky, Ontario
1963

Number of Storeys: 1½, Side Split Level--carport attached
Single detached

Number of Bedrooms: 4

Fireplace? no,

Basement: -Yes--finished
-Family room, laundry, 2 bedrooms,
bath

Cladding:

Primary: Vertical wood siding
-1" x 4" "V"-joint tongue and groove
Secondary: N/A
-
Other: Large face of concrete foundation wall exposed

Roof:

Materials: Tar and gravel, flat roof on carport
Shape: Flat/gabled--shallow rise

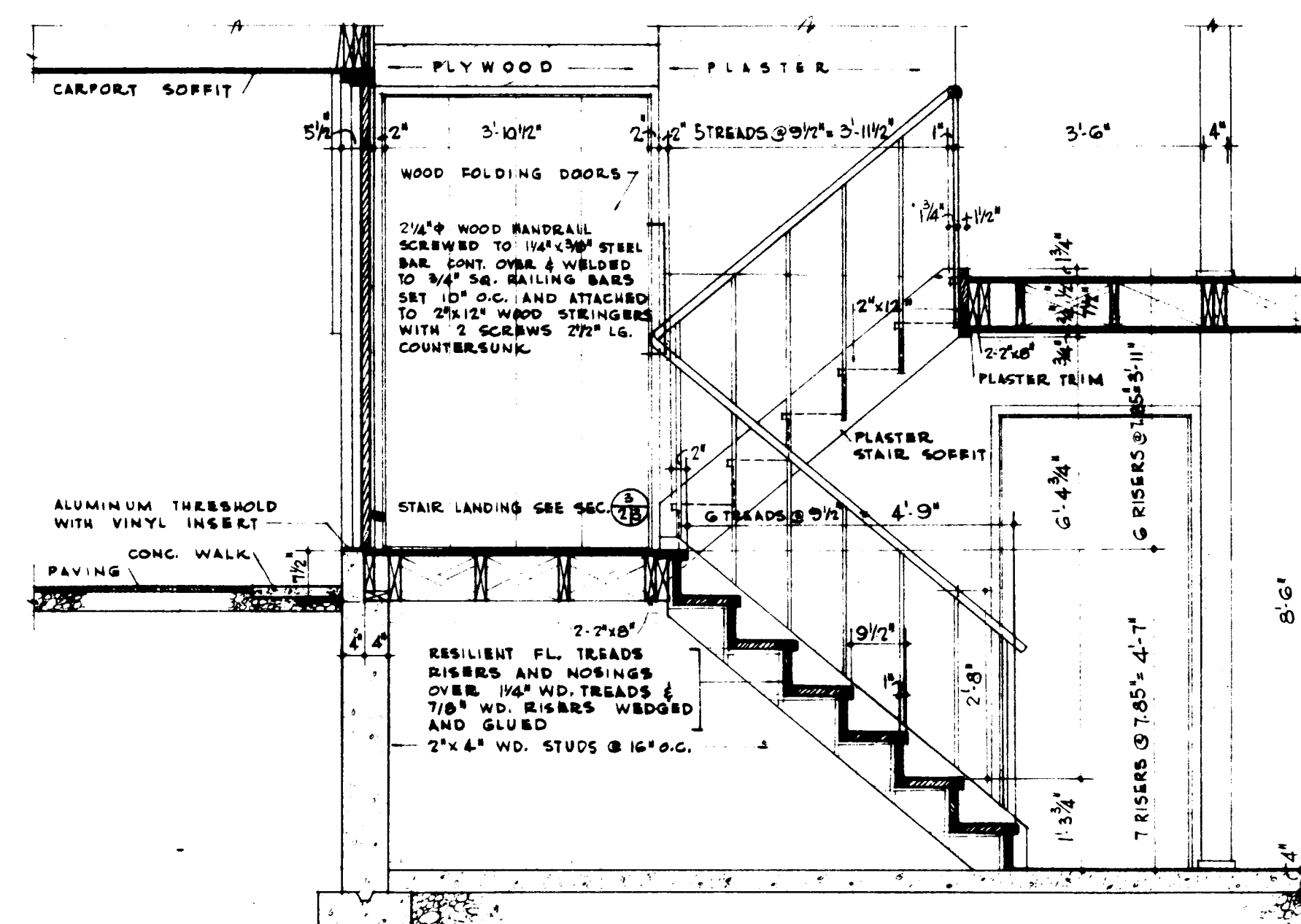
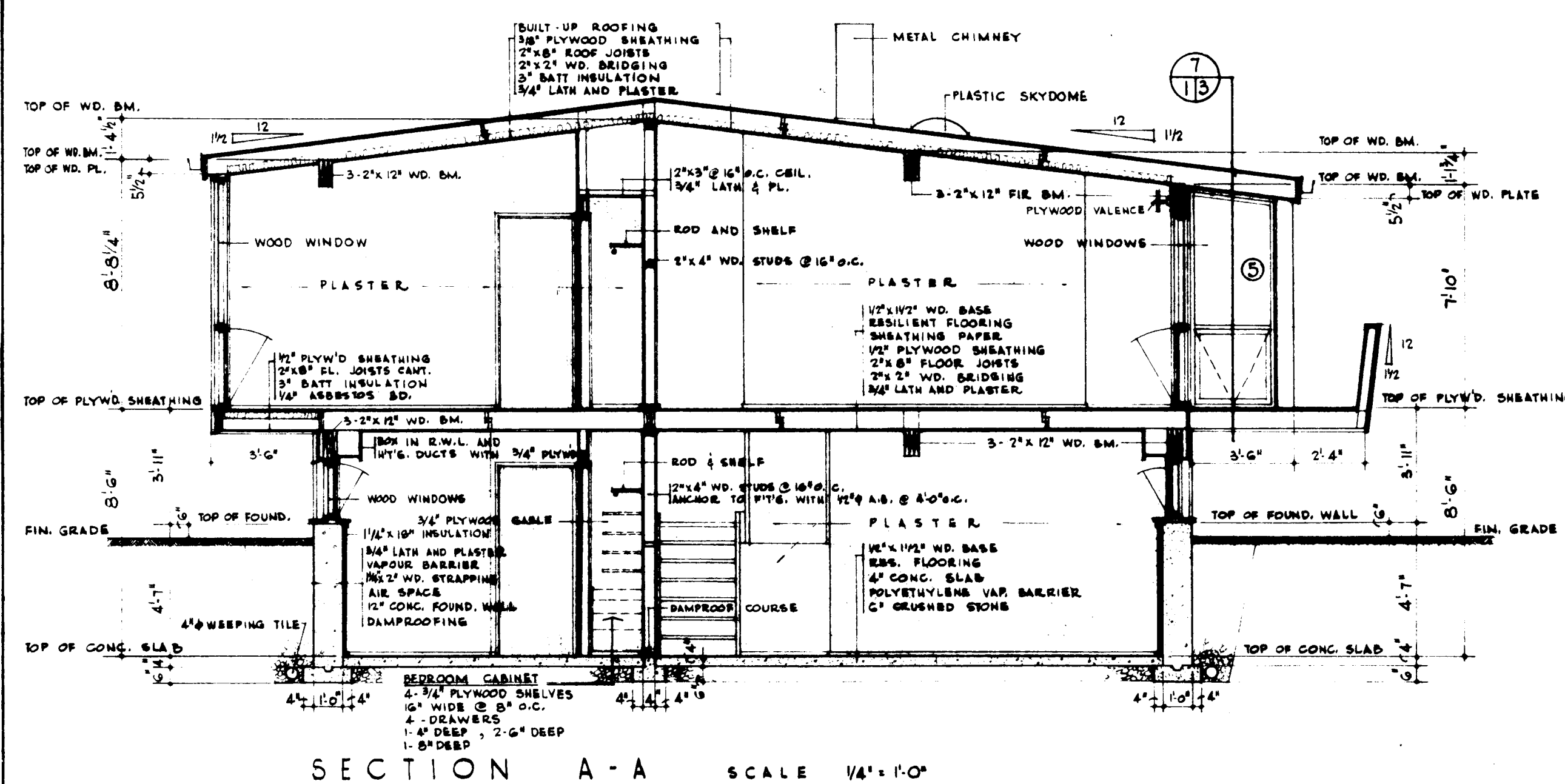
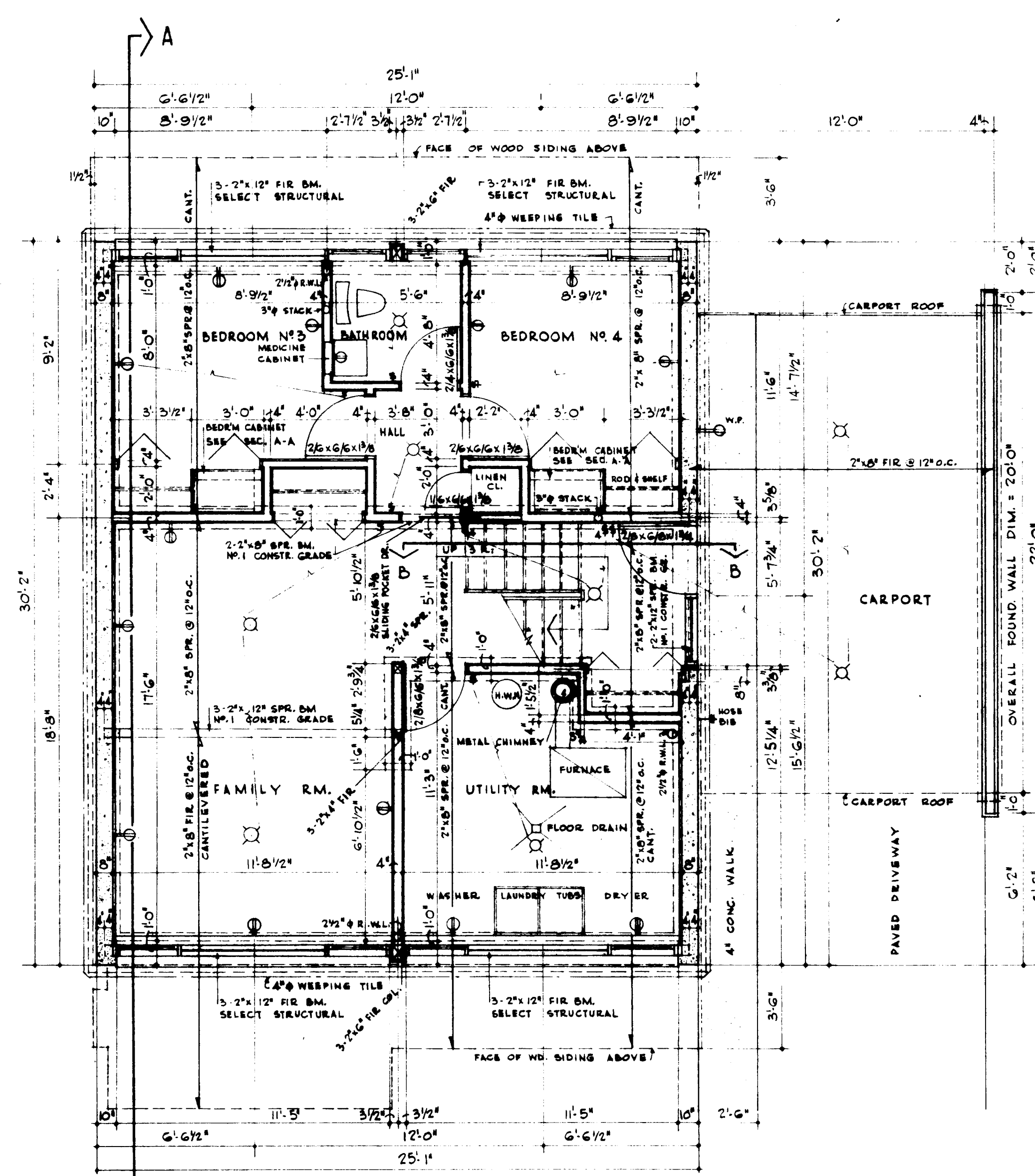
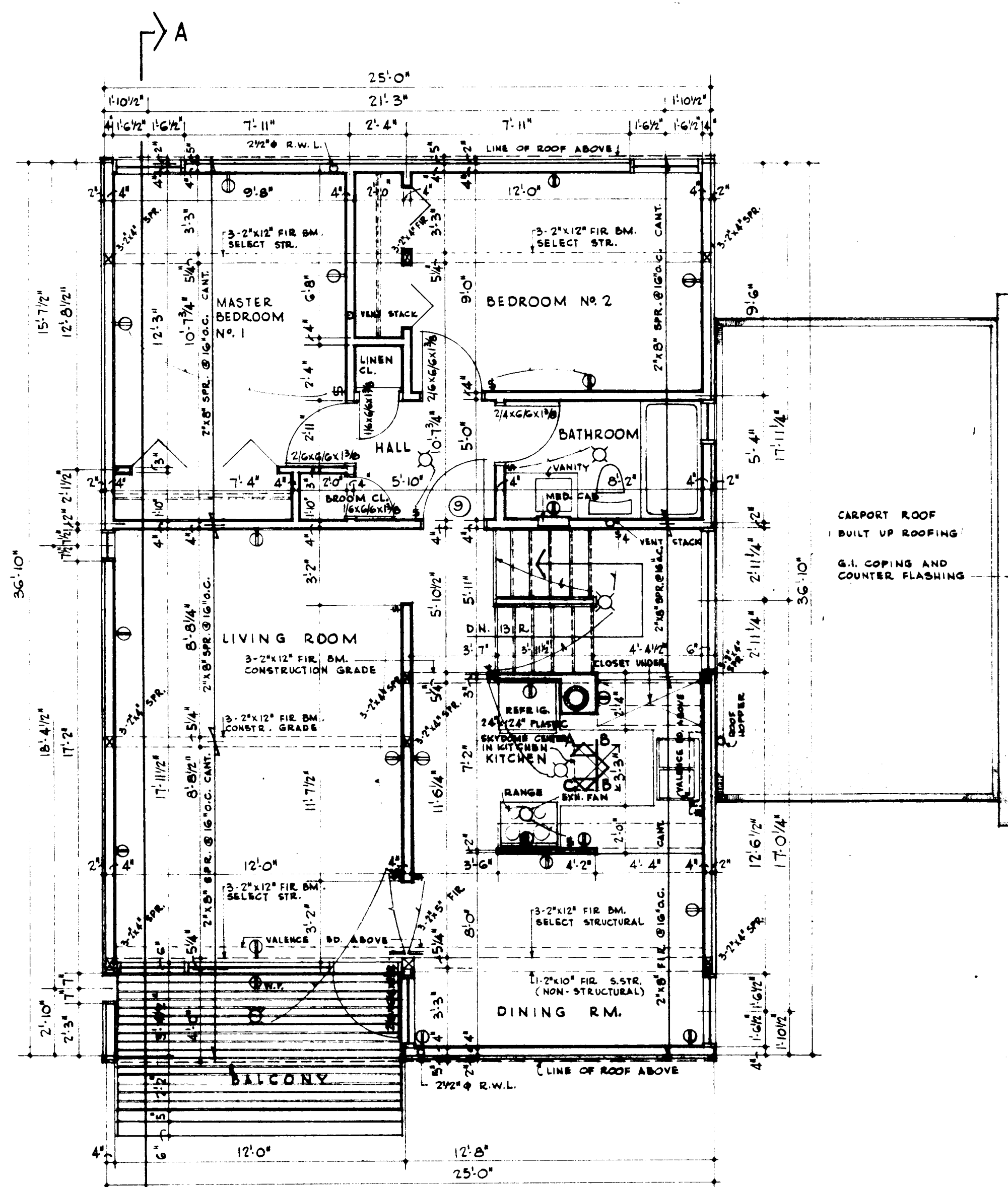
Special Features: Balcony(ies)
-One off living room
Skylights
-One "skydome" in kitchen

N/A

-

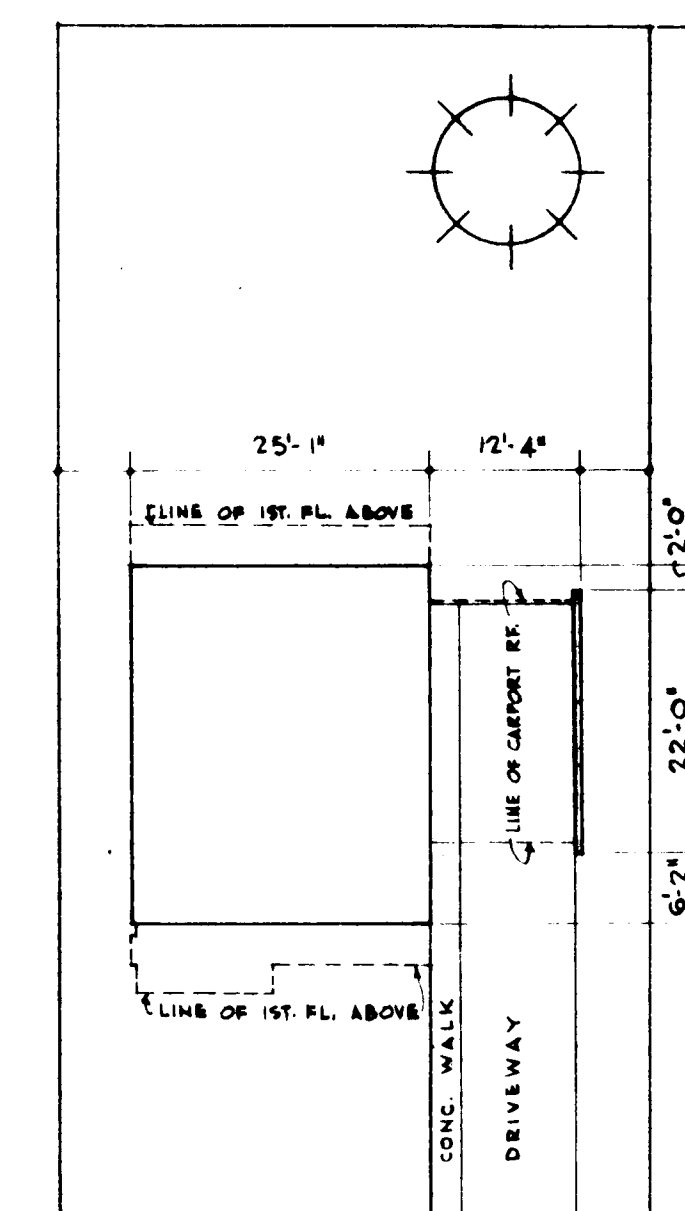
N/A

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- ### GENERAL NOTES

1. ALL FOOTINGS AND FOUNDATIONS SHALL BE TAKEN DOWN TO SOLID BEARING AND BELOW THE ACCEPTED MINIMUM FROST PENETRATION LINE. FOOTINGS AND FOUNDATIONS MAY HAVE TO BE INCREASED TO SUIT EXISTING SOIL CONDITIONS.
2. DOUBLED JOISTS REQUIRED UNDER PARTITIONS RUNNING PARALLEL TO THE FLOOR. JOISTS MAY BE BLOCKED APART 8" AT 4'-0" O.C. TO PERMIT THE PASSAGE OF HEATING DUCTS, ETC.
3. FOR ORDINARY LOADING CONDITIONS, WOOD LINTELS OVER DOORS, WINDOWS, ETC., IN OUTSIDE AND INSIDE WALLS TO BE PLACED ON EDGES.
4. ALL DIMENSIONS ARE NOTED FROM OUTSIDE FACE OF STUDS AND FROM THE OUTSIDE FACE OF CONCRETE TO CENTRE LINE OF INTERIOR PARTITIONS.
5. WHILE THE POSITION AND NUMBER OF ELECTRICAL OUTLETS MAY BE ALTERED OR INCREASED TO SUIT INDIVIDUAL TASTES, THEY MUST IN ALL CASES MEET THE MINIMUM REQUIREMENTS OF THE HOUSING STANDARDS AND COMPLY WITH PROVINCIAL REGULATIONS.
6. PROVIDE A SHELF AND ROD IN THE COAT AND CLOTHES CLOSETS.
7. PROVIDE AN EXTERIOR HOSE BID.
8. ADDITIONAL INSULATING MATERIAL MAY BE NECESSARY IN CERTAIN LOCALITIES TO MEET THE REQUIRED RESISTANCE TO HEAT FLOW FOR SUCH AREA.
9. THE STRUCTURAL MEMBERS ARE DESIGNED FOR A LIVE ROOF LOAD OF 50 P.S.F. FOR THE HOUSE AND 75.0 P.S.F. FOR THE GARAGE.
IN AREAS WHERE A ROOF LOAD IN EXCESS OF THE DESIGN LOAD IS EXPECTED, IT WILL BE NECESSARY TO REDESIGN THE STRUCTURAL MEMBERS ACCORDINGLY.
10. UNLESS OTHERWISE NOTED ON THE DRAWINGS THE SPECIES AND GRADE FOR ALL STRUCTURAL MEMBERS WILL BE AS FOLLOWS :
SPRUCE JOISTS & COLUMNS - J.M.I. CONSTRUCTION
DOUGLAS FIR JOISTS & COLUMNS - STANDARD GRADE

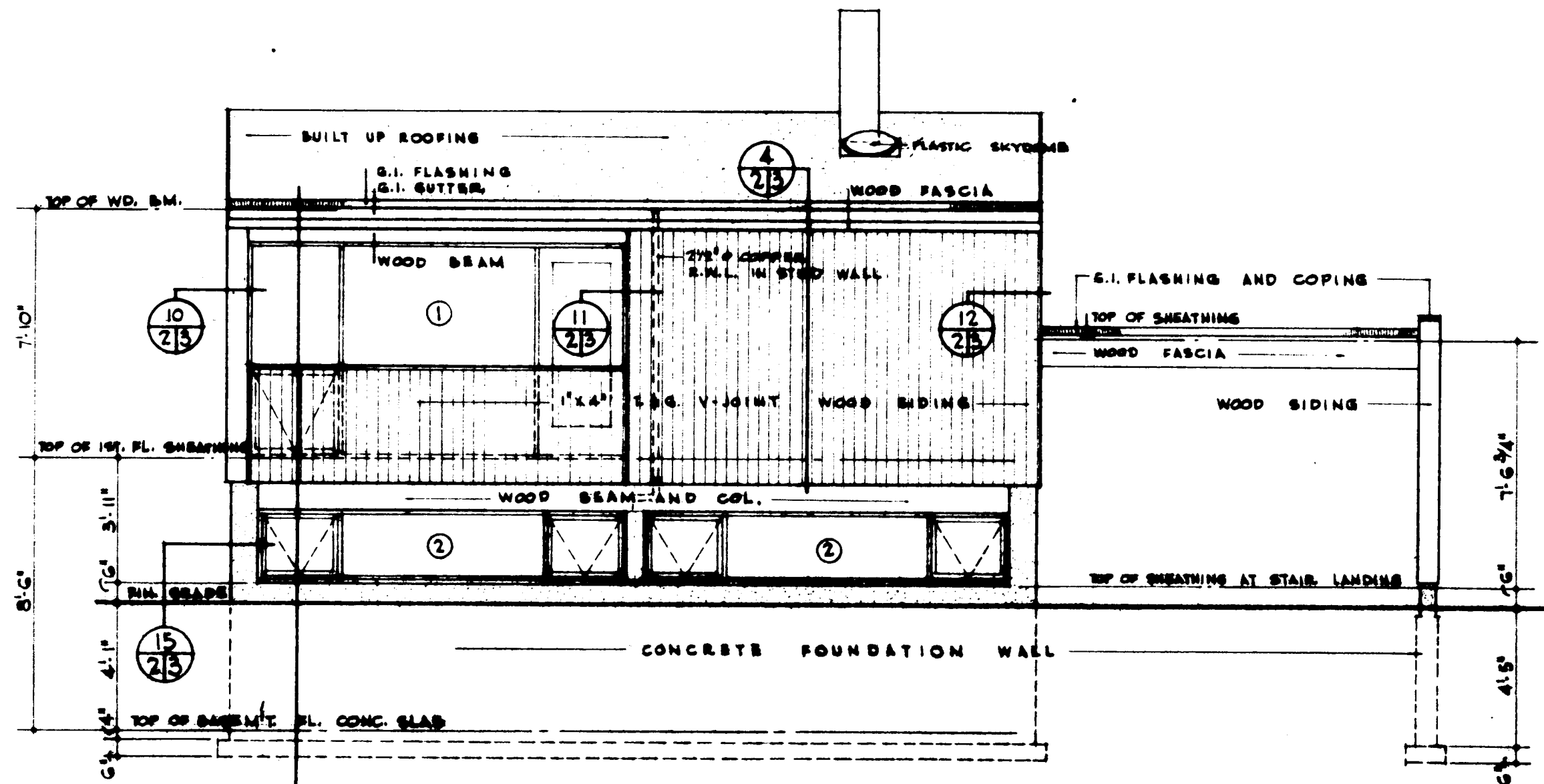


PLOT PLAN NOT TO SCALE

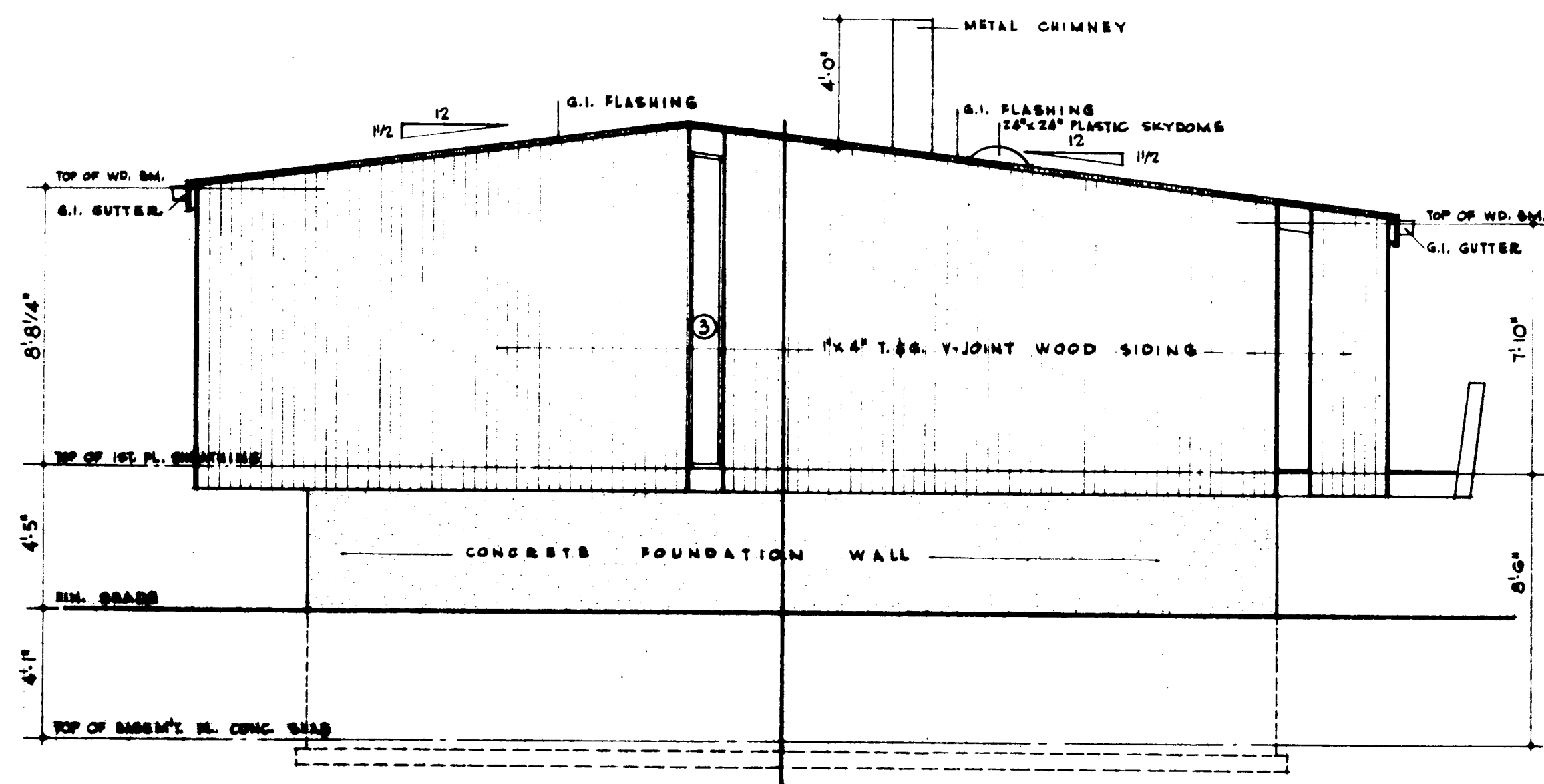
DATE	11/5/18	DATE	
NHA		REVISIONS	
STDS.		BY	
CHKD.			
BY			

ARCHITECT	
K. BRIESTENSKY	
DATE	
DESIGN NO.	SHEET NO.
814	1 of 3

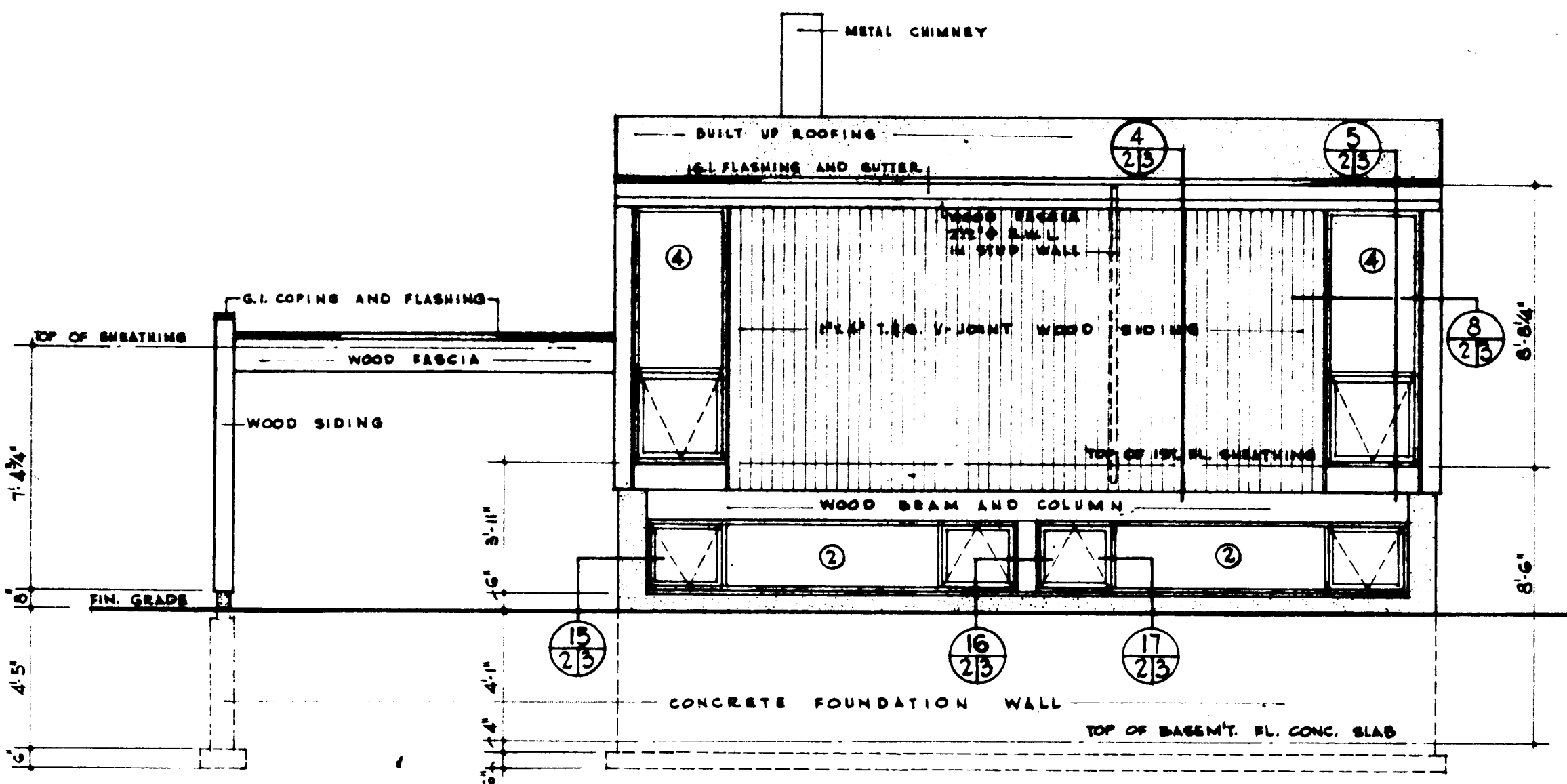
CENTRAL MORTGAGE AND
HOUSING CORPORATION



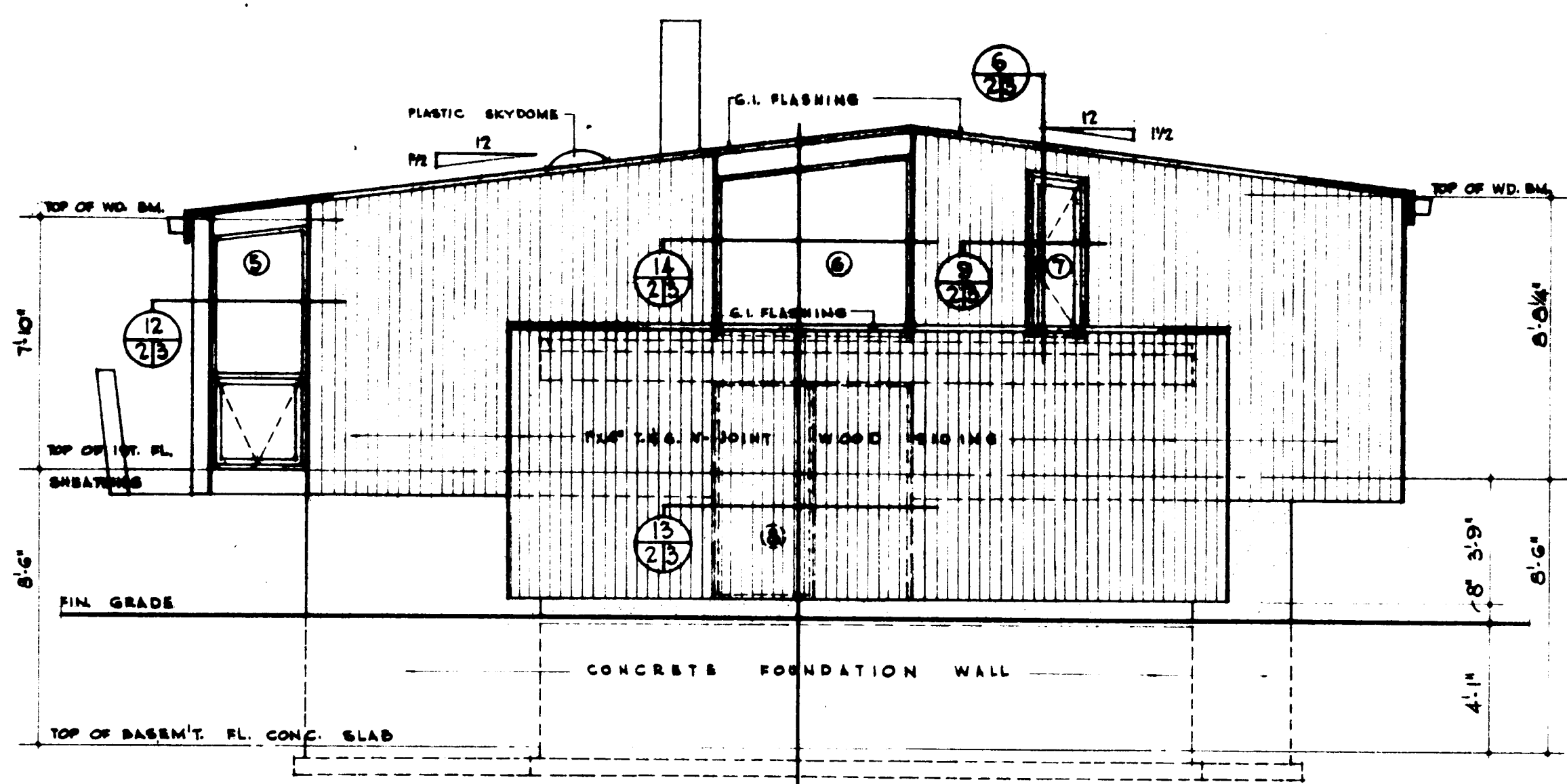
FRONT ELEVATION SCALE $\frac{1}{4}" = 1'-0"$



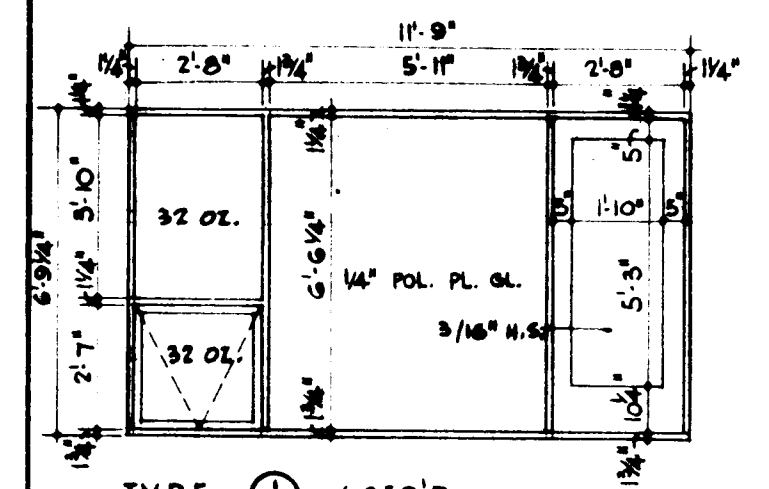
LEFT ELEVATION SCALE $\frac{1}{4}" = 1'-0"$



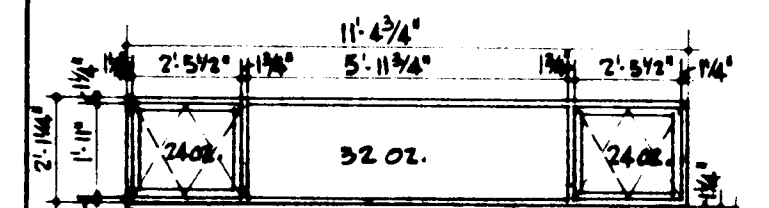
BACK ELEVATION SCALE $\frac{1}{4}" = 1'-0"$



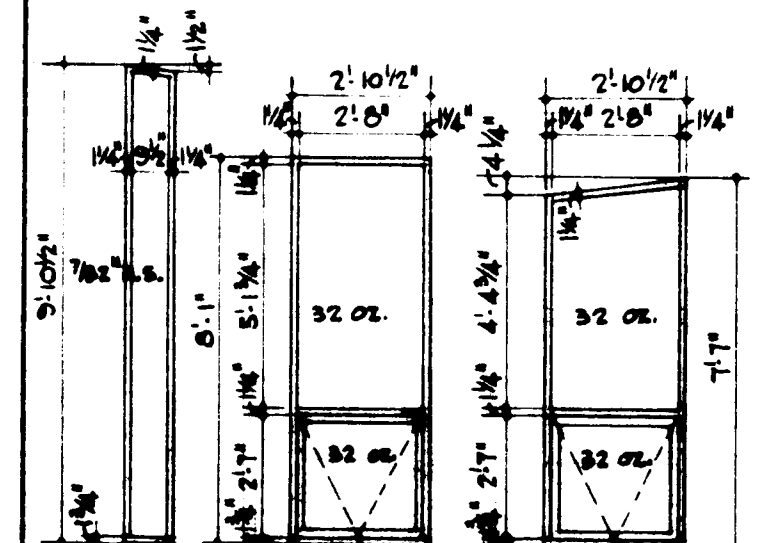
RIGHT ELEVATION SCALE $\frac{1}{4}" = 1'-0"$



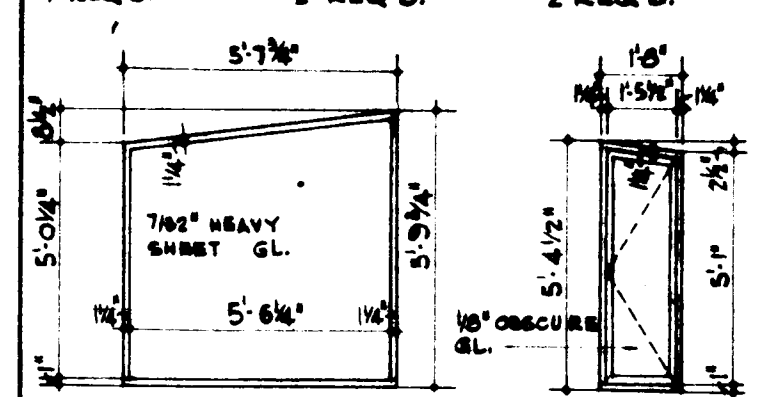
TYPE ① 1 REQ'D.



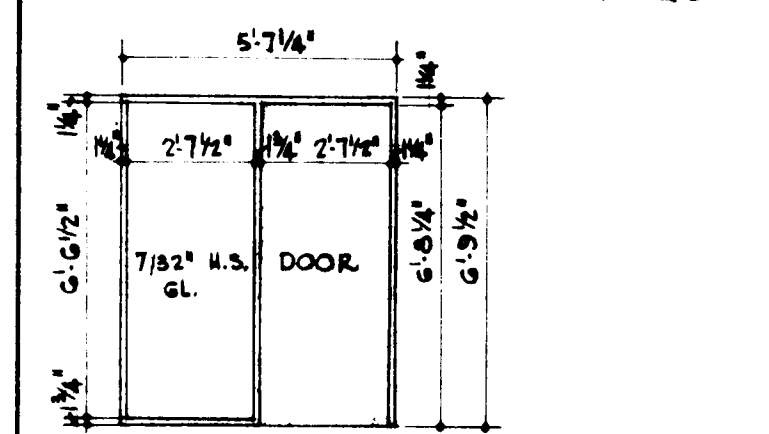
TYPE ② 4 REQ'D.
SEE ELEV. FOR OPENING SASH ARRANGEMENT.



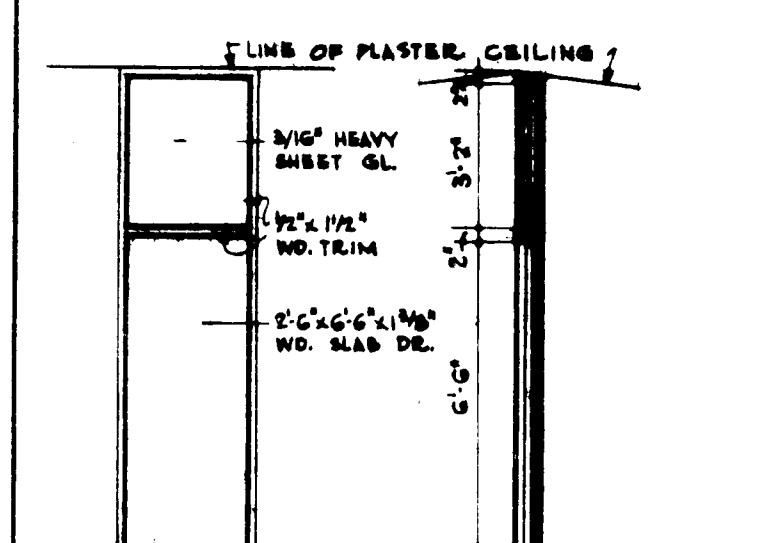
TYPE ③ 1 REQ'D. TYPE ④ 2 REQ'D. TYPE ⑤ 2 REQ'D.



TYPE ⑥ 1 REQ'D. TYPE ⑦ 1 REQ'D.



TYPE ⑧ 1 REQ'D.
WINDOW SCHEDULE SCALE $\frac{1}{4}" = 1'-0"$



INTERIOR DOOR NO. 9
ELEVATION SECTION
SCALE $\frac{1}{4}" = 1'-0"$

DATE <i>1/14/60</i> NHA. STDS. CHKD. BY <i>[Signature]</i> REVISIONS BY	
ARCHITECT	
K. BRIESTENSKY	
DATE	DESIGN NO. SHEET NO.
	814 2/3
CENTRAL MORTGAGE AND HOUSING CORPORATION	

