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COMPETITION SERIES

Project #: 2328 Both Number of Sheets: 2
Architect: R. B. W. Gordon, Ontario
1964

Number of Storeys: 1, Bungalow--garage detached
Single detached

Number of Bedrooms: 3

Fireplace? yes, in living room

Basement: -Yes--unfinished
-Laundry tub located

Cladding:

Primary: Stucco

-

Secondary: Cedar siding--vertical

-Accent panels

Other: N/A

Roof:

Materials: Asphalt shingles, central square of roof raised,
flat top

Shape: Hip

Special Features: Distinctive roof profile

-Central square of roof raised, flat top--garage also

Patio--protected on 2 or more sides

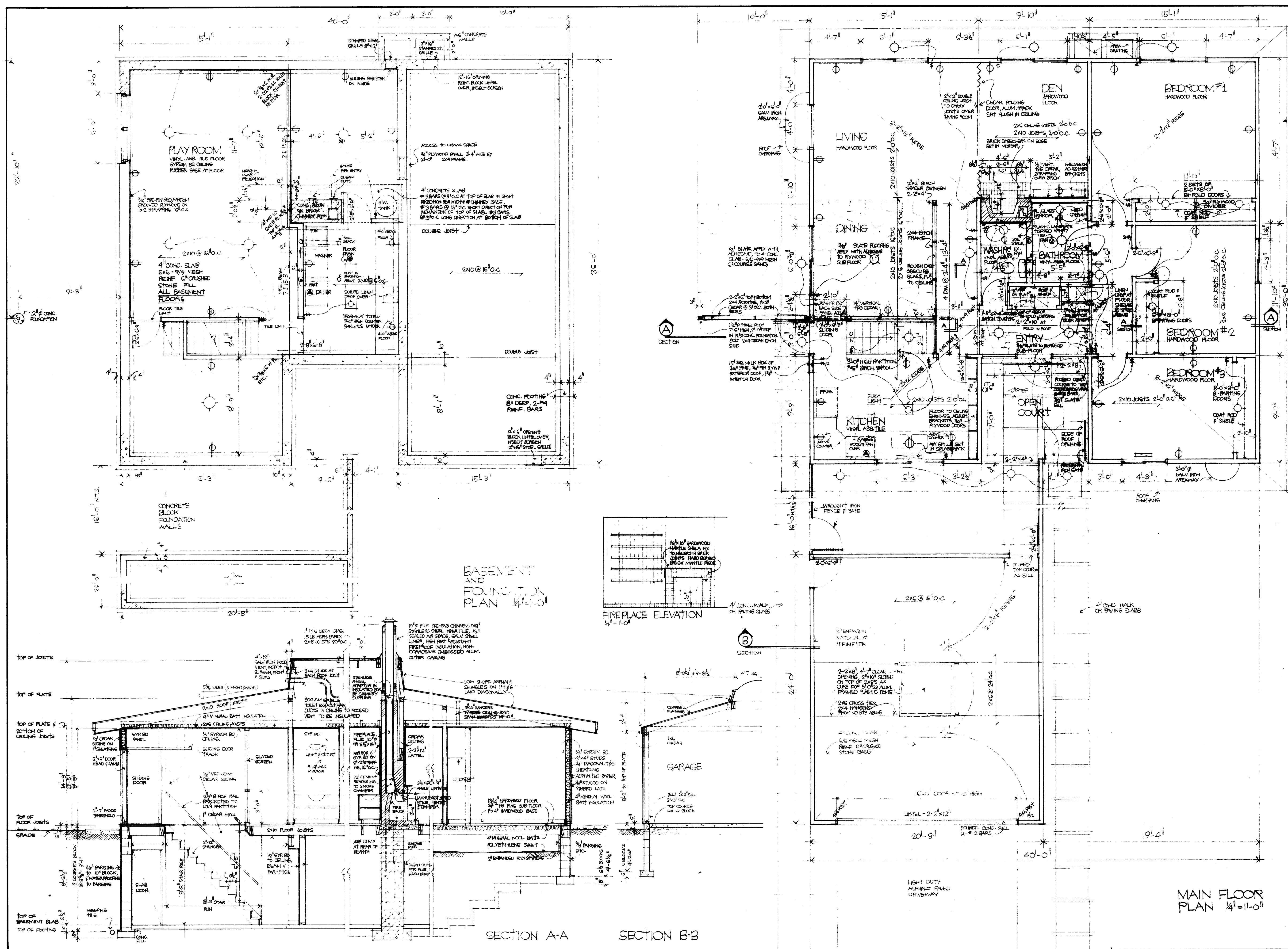
-Between garage and house, with privacy fence; and entry

Skylights

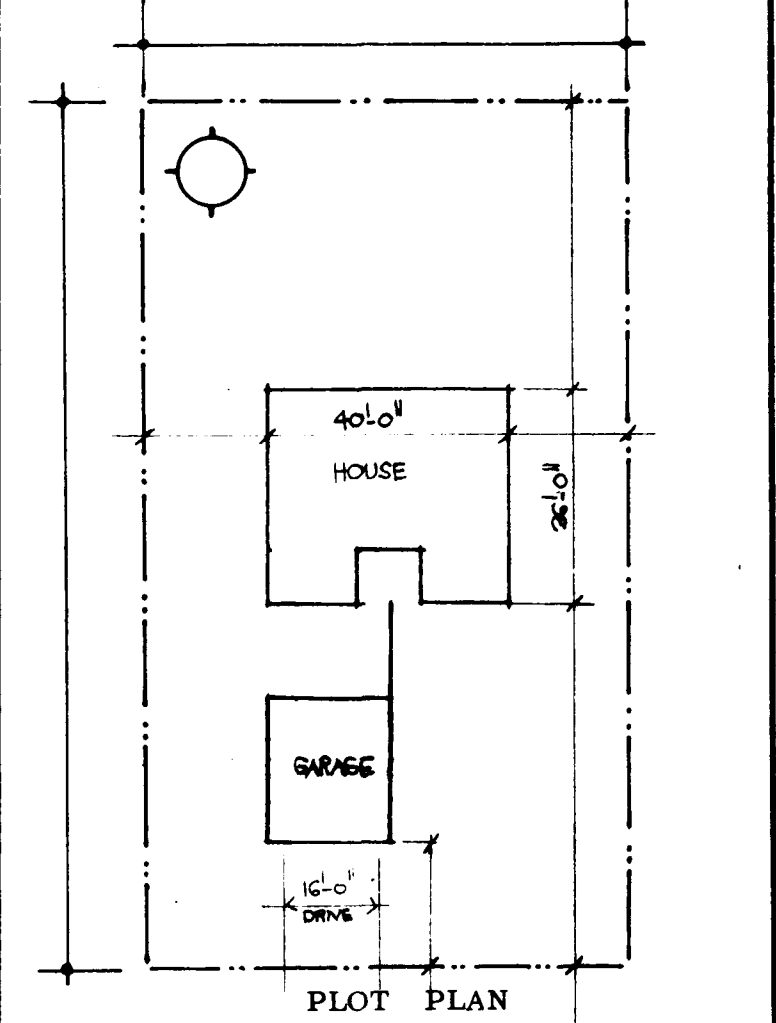
-"Skydome" in garage

Built-ins

-Brick fireplace wall with shelves beside



- GENERAL NOTES**
1. ALL FOOTINGS AND FOUNDATIONS SHALL BE TAKEN DOWN TO SOLID BEARING AND BELOW THE ACCEPTED LOCAL FROST PENETRATION LINE. FOOTINGS AND FOUNDATIONS MAY HAVE TO BE INCREASED TO SUIT EXISTING SOIL CONDITIONS.
 2. DOUBLED JOISTS REQUIRED UNDER PARTITIONS RUNNING PARALLEL TO THE FLOOR JOISTS MAY BE BLOCKED APART 8" AT 4'-0" O.C. TO PERMIT THE PASSAGE OF HEATING DUCTS ETC.
 3. FOR ORDINARY LOADING CONDITIONS, WOOD LINTELS OVER DOORS, WINDOWS ETC. IN EXTERIOR AND INTERIOR WALLS SHALL BE PLACED ON EDGE.
 4. THE POSITION AND NUMBER OF ELECTRICAL OUTLETS MAY BE RE-LOCATED BUT MUST IN ALL CASES MEET THE MINIMUM REQUIREMENTS OF THE HOUSING STANDARDS AND COMPLY WITH LOCAL CODES.
 5. PROVIDE A SHELF AND ROD IN THE COAT AND CLOTHES CLOSETS.
 6. ADDITIONAL INSULATING MATERIAL MAY BE NECESSARY IN CERTAIN LOCALITIES TO PROVIDE THE REQUIRED RESISTANCE TO HEAT FLOW FOR SUCH AREA.
 - 7a) THE STRUCTURAL MEMBERS ARE DESIGNED FOR A LIVE ROOF LOAD OF 50 LBS PER SQUARE FOOT. IN AREAS WHERE A ROOF LOAD IN EXCESS OF THE DESIGN LOAD IS EXPECTED, IT WILL BE NECESSARY TO REDESIGN THE STRUCTURAL MEMBERS ACCORDINGLY.
 - b) ALL STRUCTURAL MEMBERS WILL BE CONSTRUCTION GRADE AND SPECIES UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 8. ALL PARTITIONS 2x4 STUDS 2'-0" O.C. UNLESS OTHERWISE DIMENSIONED OR NOTED
 9. ALL CEILING PARTITIONS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE
 10. TIMBER LINTELS OVER ALL OPENINGS IN LOAD BEARING STUD WALLS SHALL BE 2'-2"x8"
 11. WHERE CEILING JOIST SPAN EXCEEDS 14'-0" A 2"x4" HANGER FROM ROOF JOIST TO CEILING JOIST SHALL BE INTRODUCED AT MID POINT OF SPAN OR CEILING JOISTS SHALL BE INCREASED TO



16/6/64 <i>Handwritten</i>					
DATE		NMA, STDS. CHKD. BY		DATE REVISIONS BY	
				ARCHITECT	
				R.B.W. GORDON	
				DATE	
				DESIGN NO.	
				SHEET NO.	
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CENTRAL		MORTGAGE AND		HOUSING CORPORATION	

