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COMPETITION SERIES

Project #: 2317 Both Number of Sheets: 2
Architect: S. A. Gitterman, Ontario
1962

Number of Storeys: 1, Bungalow--carport attached
Single detached

Number of Bedrooms: 3

Fireplace? no,

Basement: -Yes--unfinished
-Laundry tubs located

Cladding:

Primary: Vertical wood siding
-1" x 3" battens on $\frac{1}{2}$ " ply
Secondary: Asbestos board panelling
-Can be substituted for other accent panels
Other: Facebrick on chimney

Roof:

Materials: Asphalt shingles, low slope

Shape: Gable

Special Features: Storage wall in carport
-Rear wall

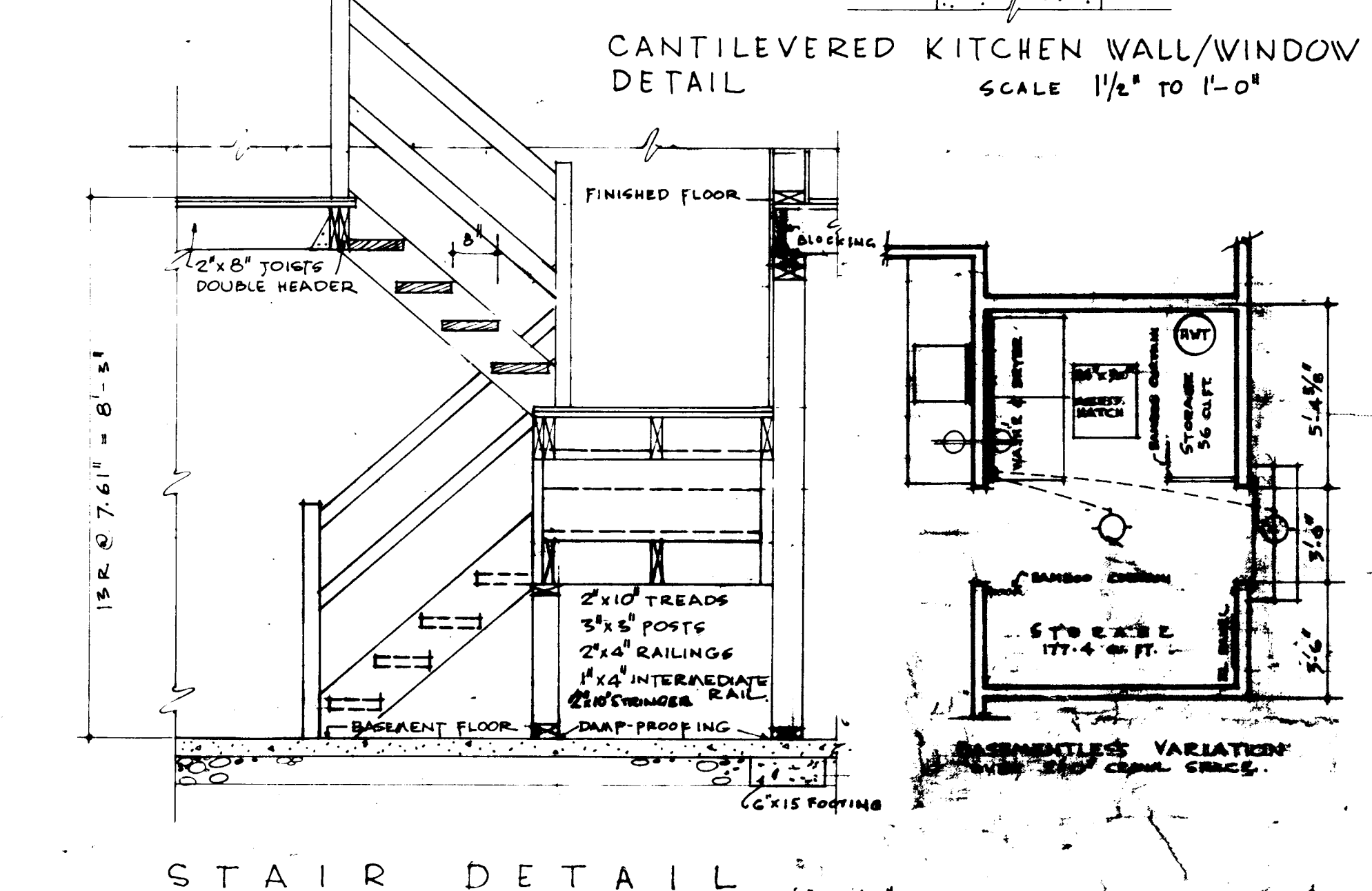
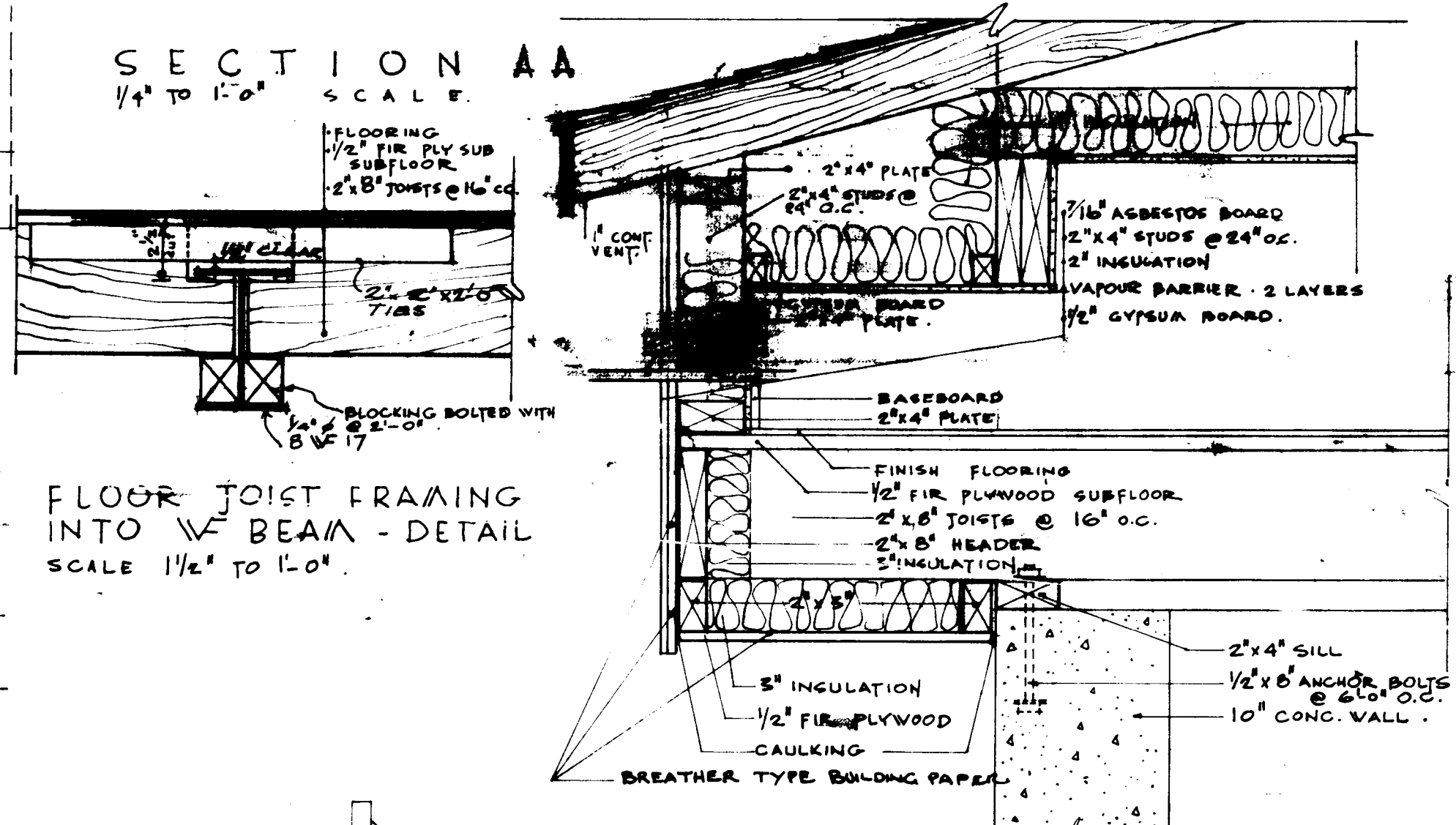
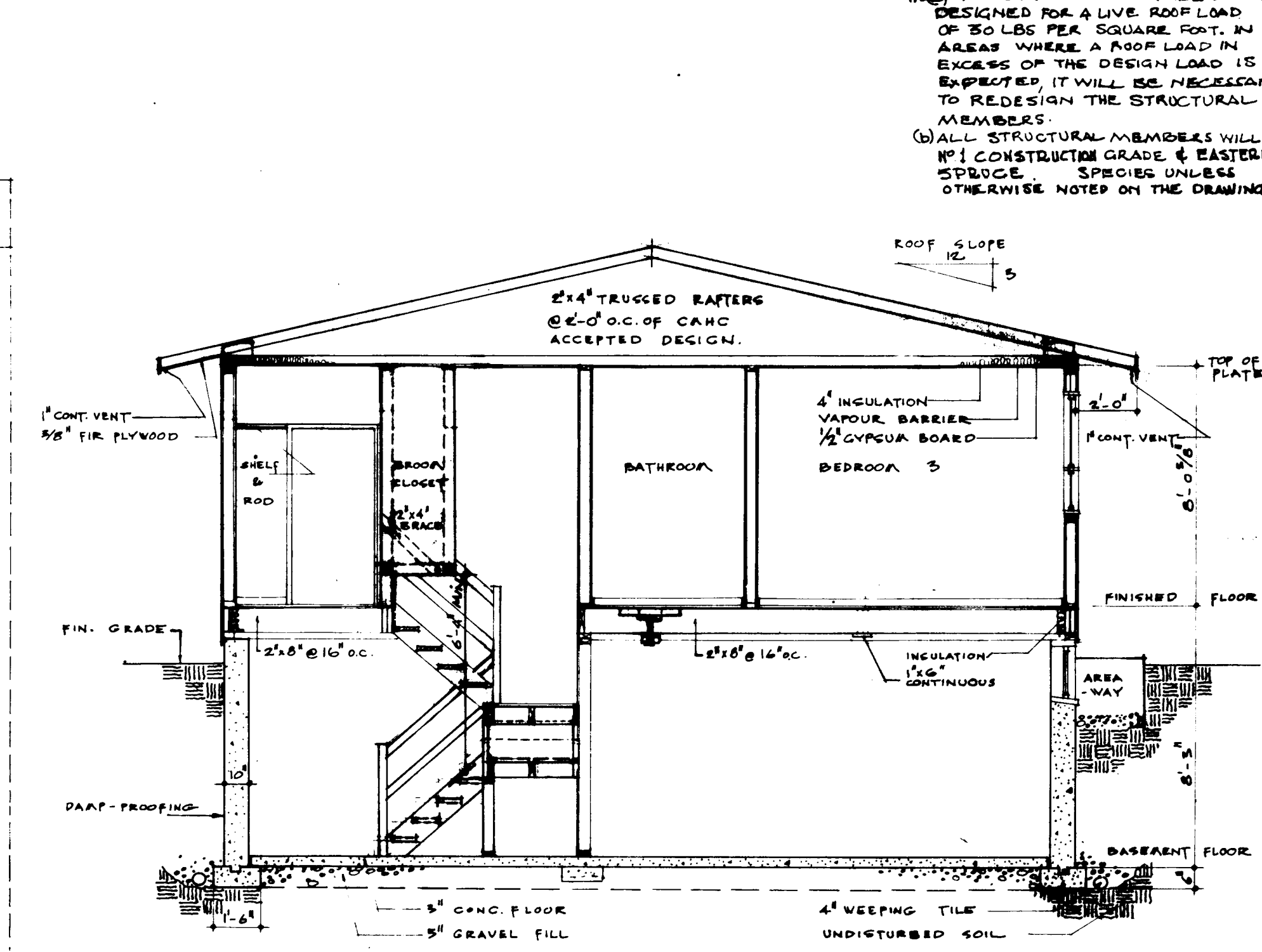
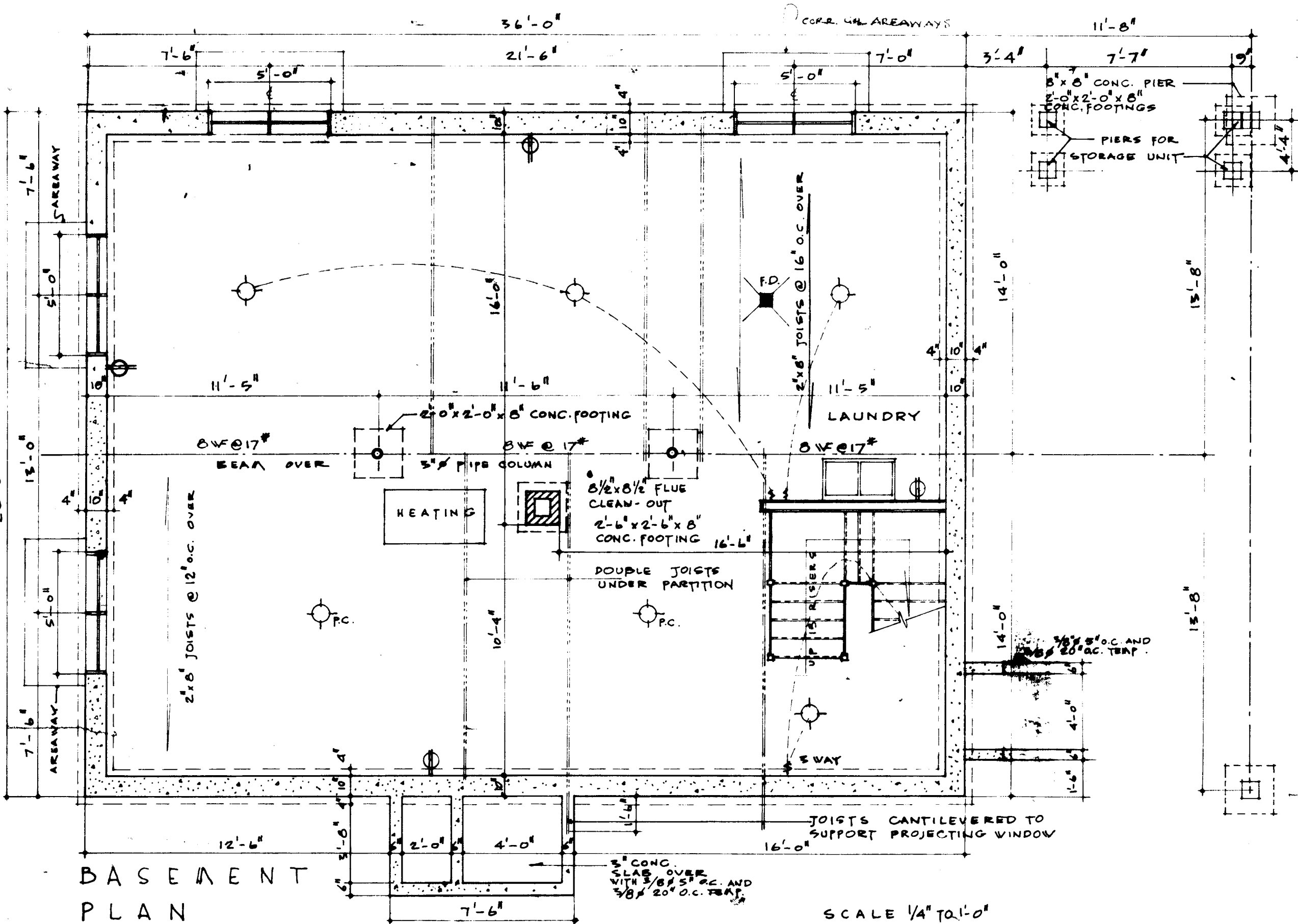
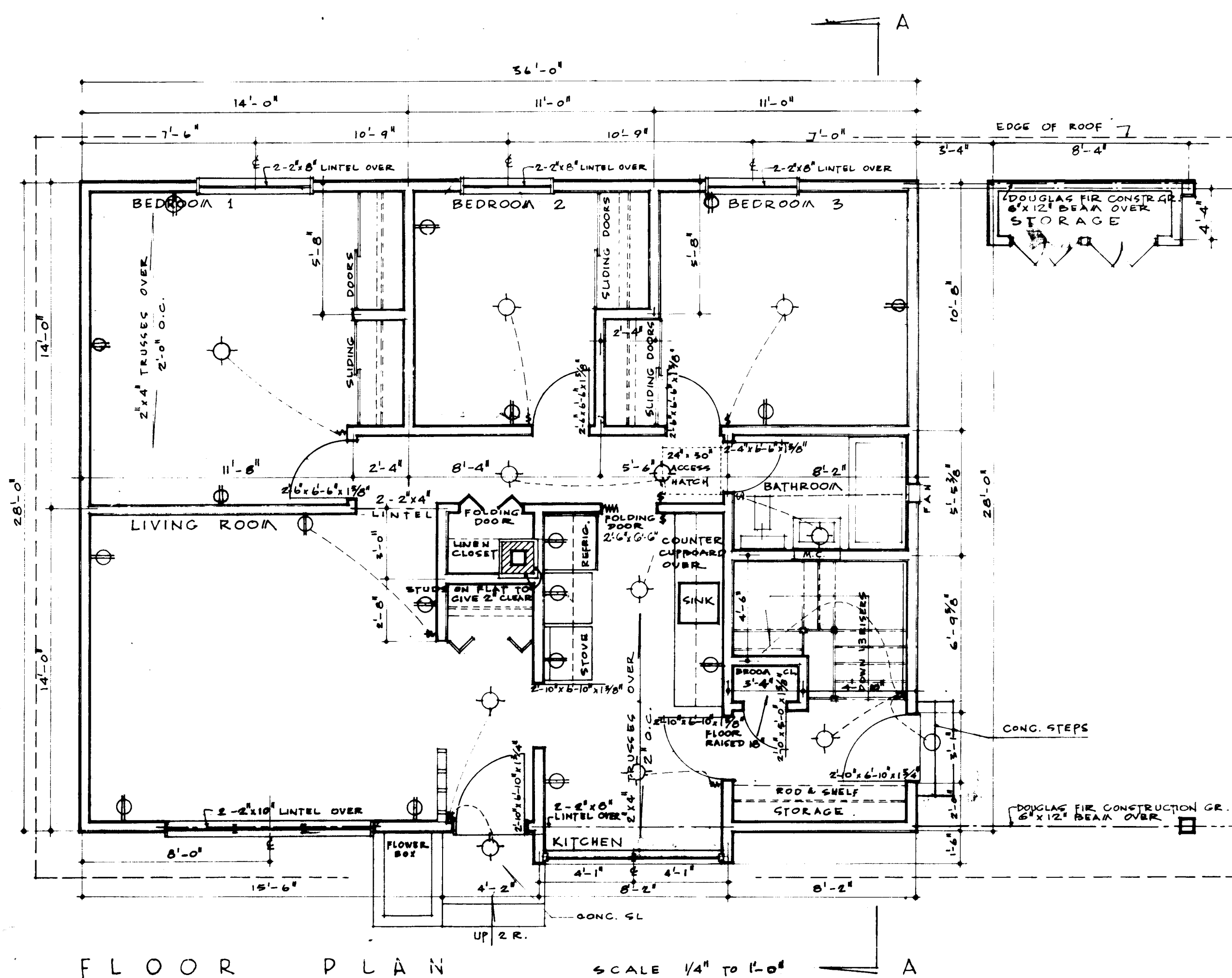
Built-in planters
-Front entrance

N/A

-

N/A

-



11. (a) THE STRUCTURAL MEMBERS ARE DESIGNED FOR A LIVE ROOF LOAD OF 30 LBS PER SQUARE FOOT. IN AREAS WHERE A ROOF LOAD IN EXCESS OF THE DESIGN LOAD IS EXPECTED, IT WILL BE NECESSARY TO REDESIGN THE STRUCTURAL MEMBERS.
(b) ALL STRUCTURAL MEMBERS WILL BE NO. 1 CONSTRUCTION GRADE & EASTERN SPECIES UNLESS OTHERWISE NOTED ON THE DRAWINGS.

- NOTES**
1. ALL FOOTINGS AND FOUNDATIONS SHALL BE TAKEN DOWN TO SOLID BEARING AND BELOW ACCEPTED LOCAL FROST PENETRATION LINE. FOUNDATIONS MAY HAVE TO BE INCREASED TO SUIT EXISTING SOIL CONDITIONS.
 2. JOISTS TO BE DOUBLED UNDER ALL PARTITIONS RUNNING PARALLEL TO FLOOR JOISTS. THESE DOUBLED JOISTS MAY BE BLOCKED APART AT 4'-0" O.C. TO ALLOW THE PASSAGE OF HEATING DUCTS ETC.
 3. ALL WOOD LINTELS OVER DOORS, WINDOWS, ETC. IN EXTERIOR WALLS SHALL BE PLACED ON EDGE FOR ORDINARY LOADING CONDITIONS.
 4. ALL DIMENSIONS ARE NOTED FROM OUTSIDE FACE OF STUDS IN FRAMES, BRICK OR STONE VENEER CONSTRUCTION, AND FROM OUTSIDE FACE OF SOLID MASONRY, TO CENTRE LINE OF INTERIOR PARTITIONS.
 5. POSITION AND NUMBER OF ELECTRICAL OUTLETS SHOWN ON PLANS MAY BE RELOCATED BUT MUST MEET THE MINIMUM REQUIREMENTS OF THE HOUSING STANDARDS AND COMPLY WITH LOCAL CODES.
 6. PROVIDE A SHELF AND ROD IN EACH CLOTHES AND COAT CLOSET.
 7. PROVIDE A MEDICINE CABINET WITH A MIRROR OVER THE LAVATORY IN BATHROOM.
 8. FLASHING IS REQUIRED OVER ALL OPENINGS IN EXTERIOR WALLS WHERE SUCH OPENINGS ARE NOT PROTECTED BY AN EAVE PROJECTION OF AT LEAST 1'-4".
 9. PROVIDE HOSE BIBS & CONNECTION.
 10. ADDITIONAL INSULATING MATERIAL MAY BE NECESSARY IN CERTAIN LOCALITIES TO PROVIDE THE REQUIRED RESISTANCE TO HEAT FLOW FOR SUCH AREA.

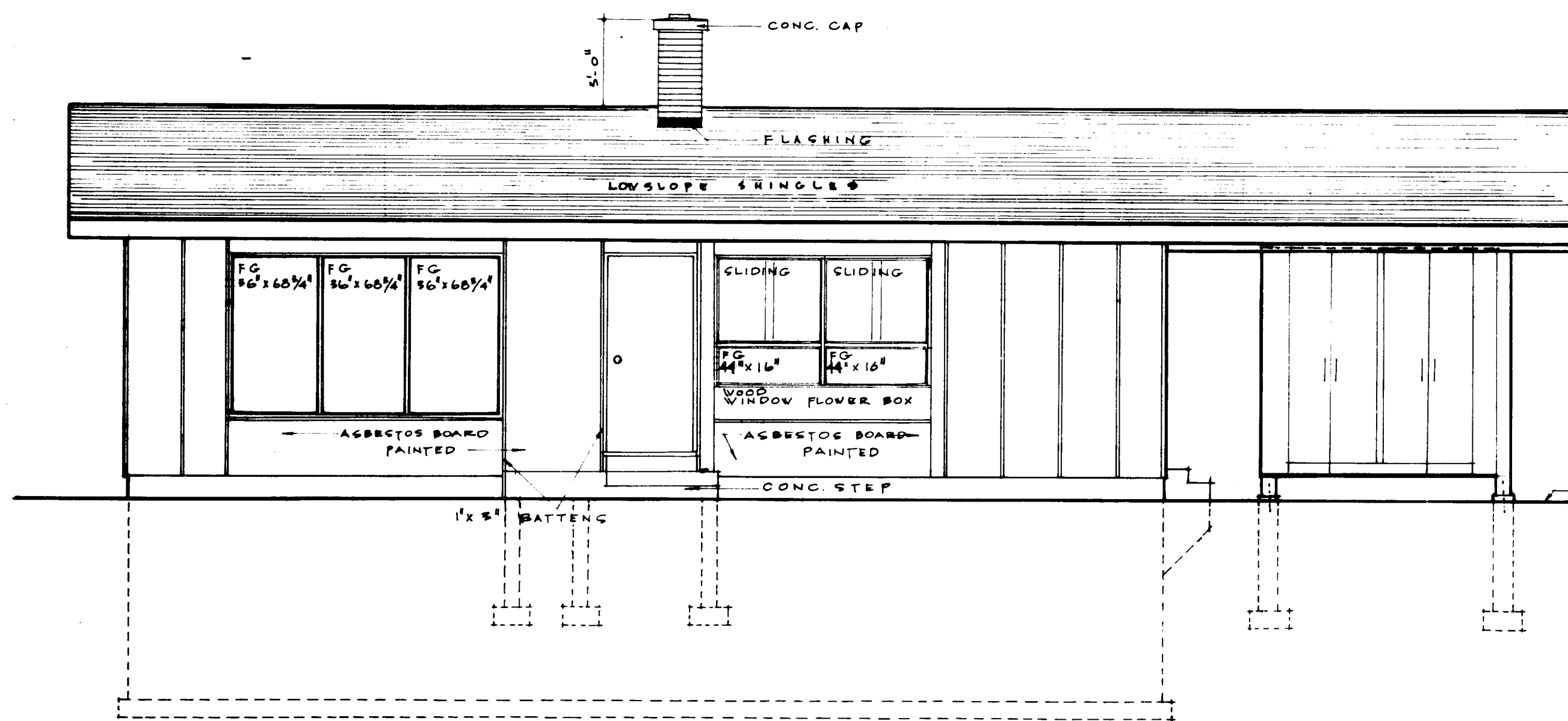
OWNER TO INDICATE APPROX NORTH AND FULL DIMENSIONS TO LOT LINES

PLOT PLAN

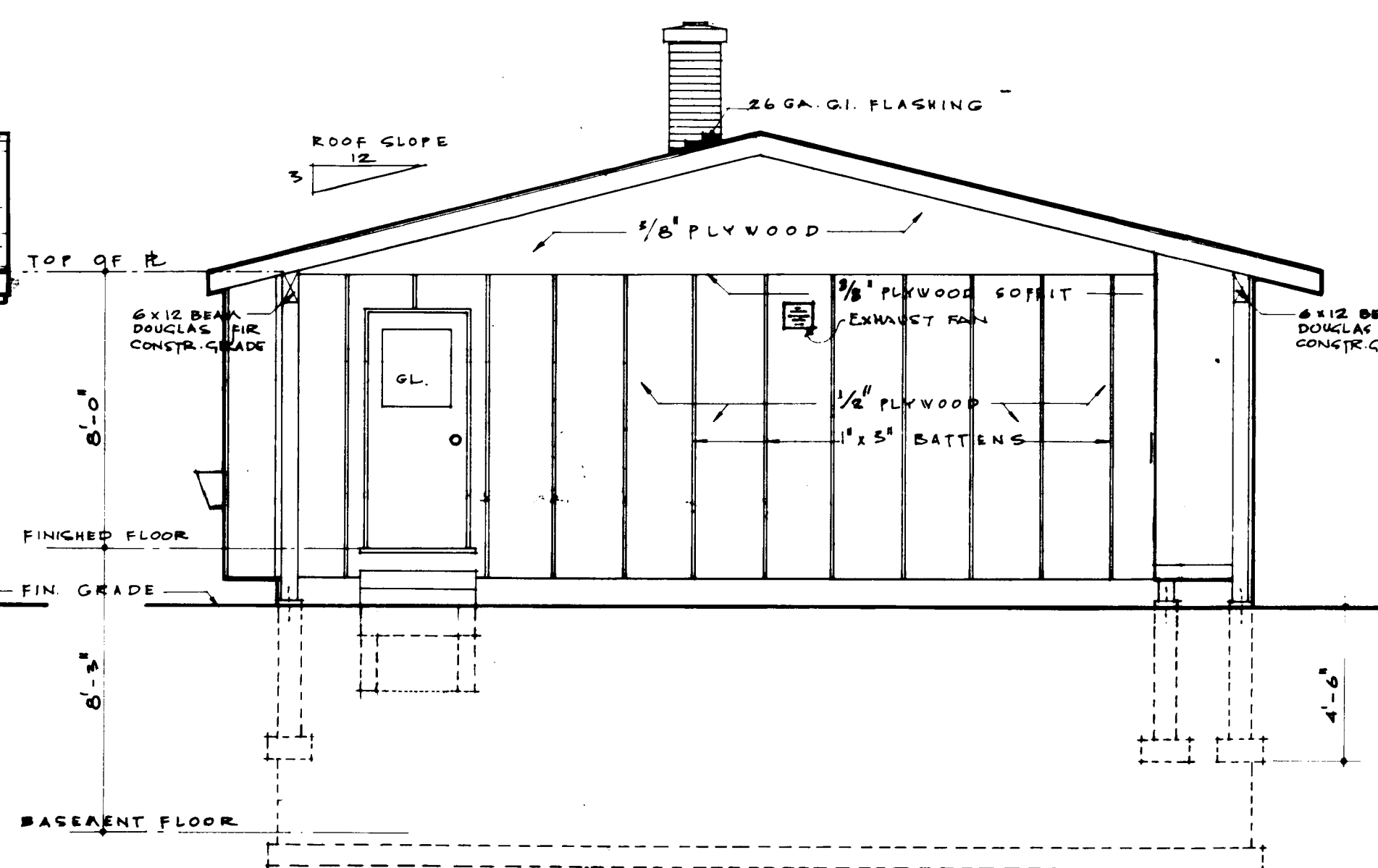
DATE: 10/9/63
NHA. STDS. CHKD. BY: J.W. 2/4/64
GENERAL ARCHITECT: S.A. GITTERMAN

DATE: 10/9/63
DESIGN NO.: 2317
SHEET NO.: 1 of 2

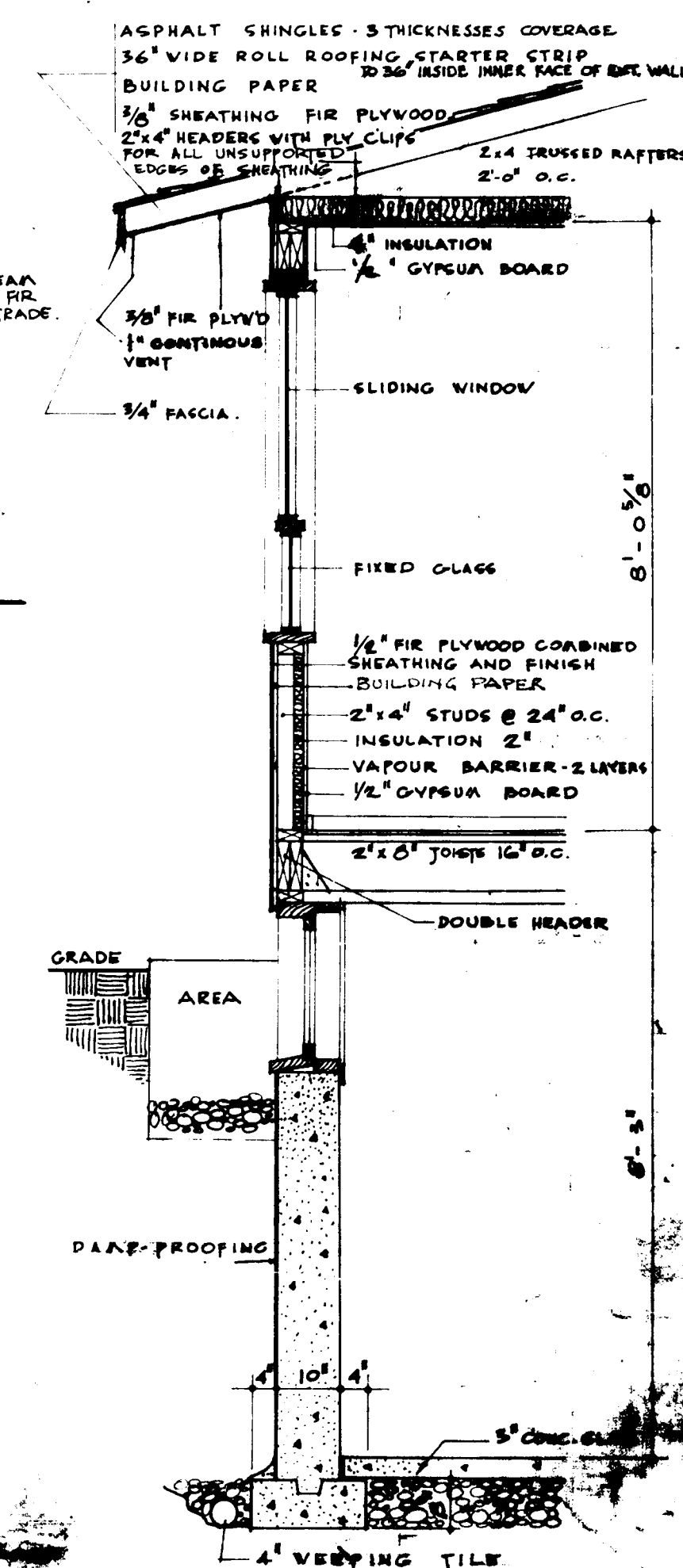
CENTRAL MORTGAGE AND HOUSING CORPORATION



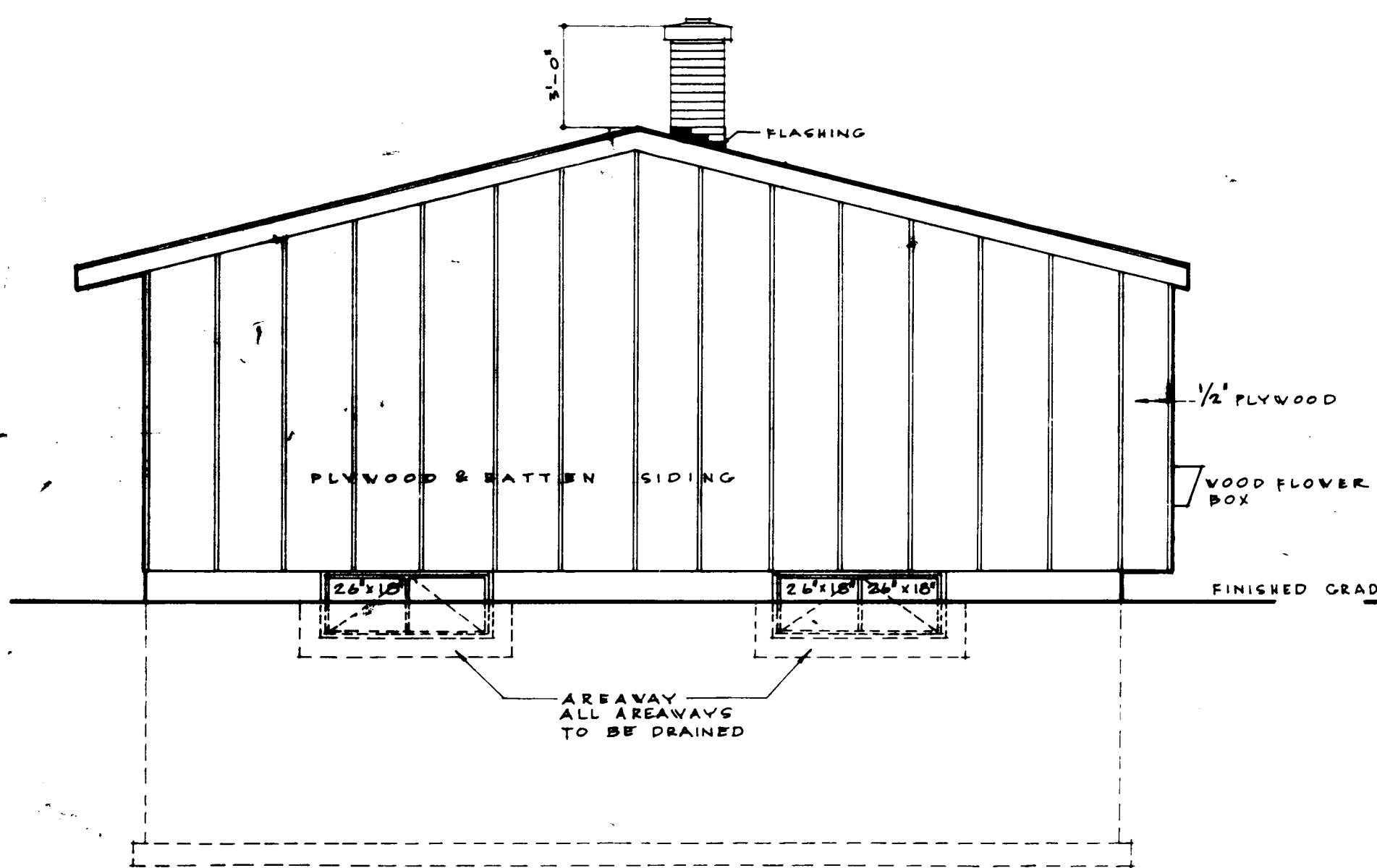
FRONT ELEVATION 1/4" - 1'-0"



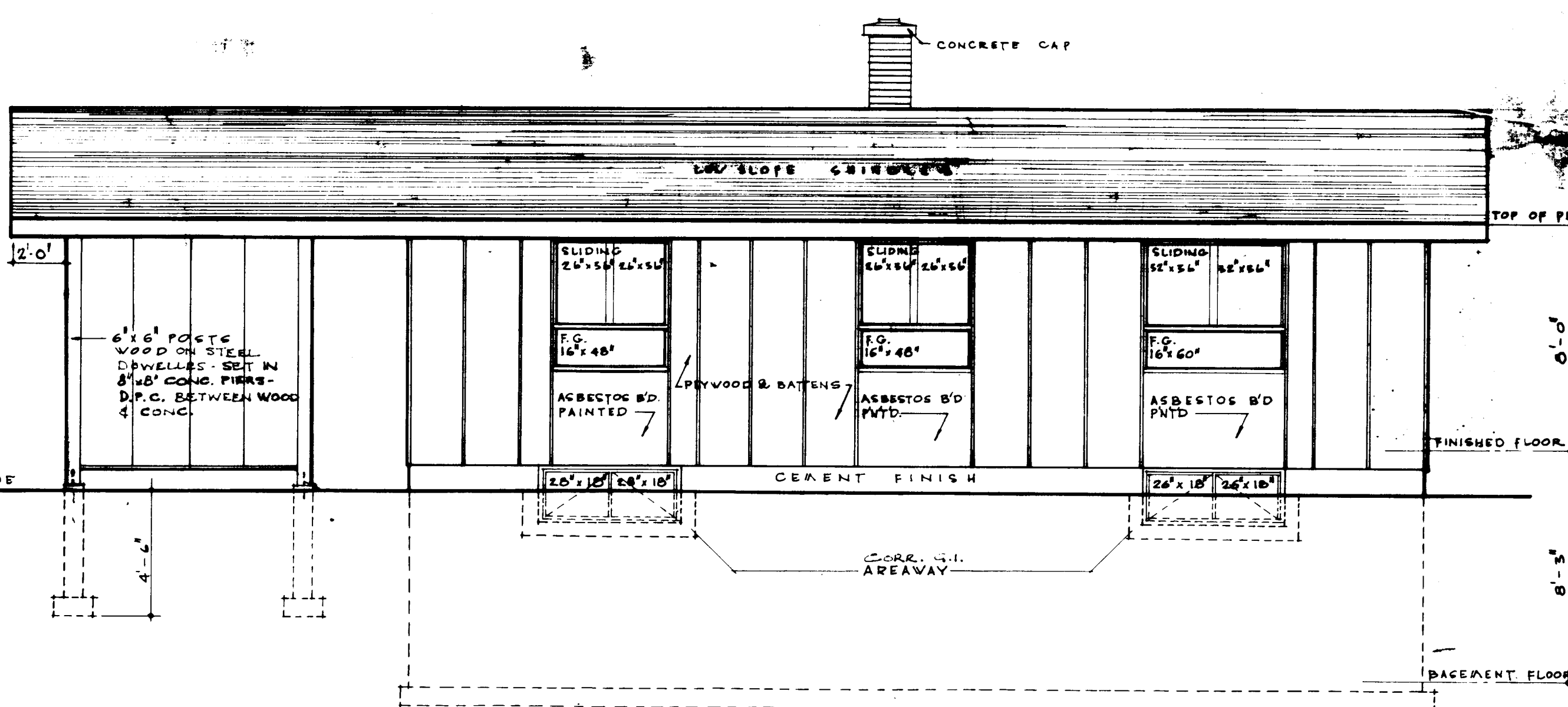
SIDE ELEVATION 1/4" - 1'-0"



WALL SECTION 1/4" - 1'-0"



SIDE ELEVATION 1/4" - 1'-0"



REAR ELEVATION 1/4" - 1'-0"

2/3/62 J. Bruff			
DATE NHA STDS. CHKD. BY		DATE REVISIONS BY	
		ARCHITECT	
		S. A. GITTERMAN	
DATE		DESIGN NO. SHEET NO.	
		2317 2 of 2	
CENTRAL MORTGAGE AND HOUSING CORPORATION			