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Contenu archivé

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COMPETITION SERIES

Project #: 141 Both Number of Sheets: 2
Architect: R. T. Affleck,
1959

Number of Storeys: 1, Bungalow--no car accommodation
Single detached

Number of Bedrooms: 2

Fireplace? no,

Basement: -Yes--unfinished
-Laundry tubs located

Cladding:

Primary: Brick

-

Secondary: Plywood panelling
-Accent panels

Other: Cast stone sills

Roof:

Materials: Asphalt shingles,

Shape: Gable

Special Features: N/A

-

N/A

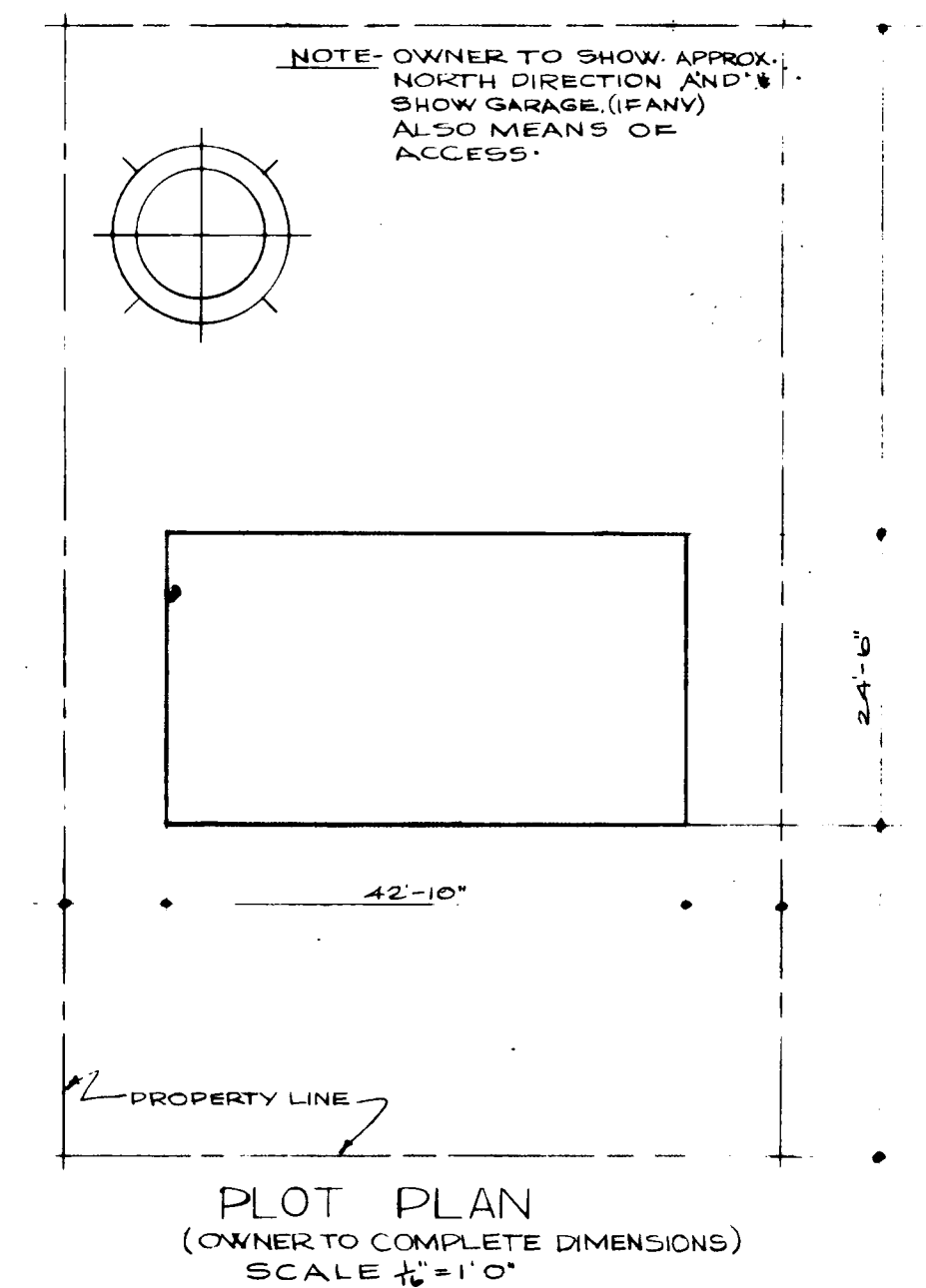
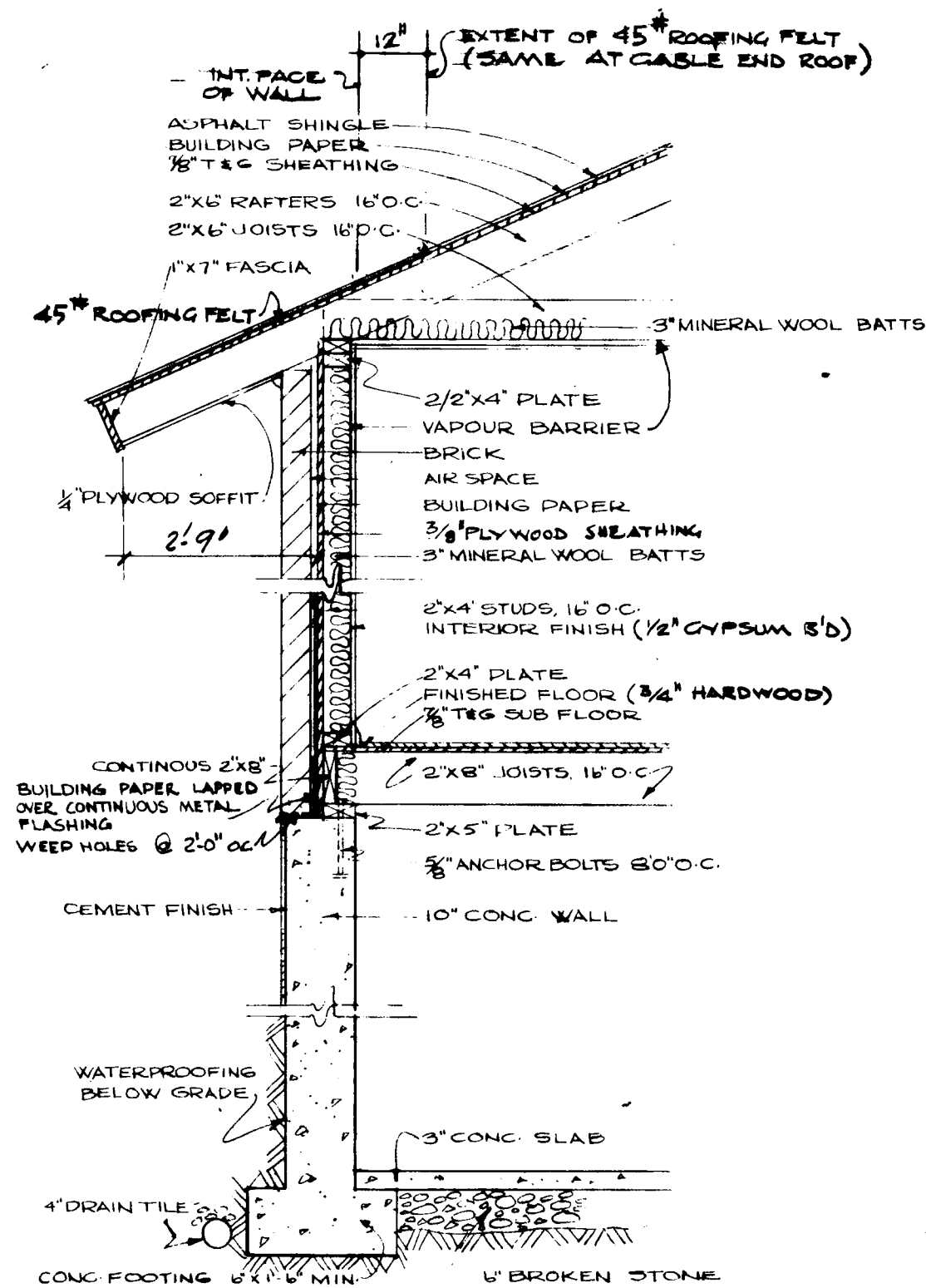
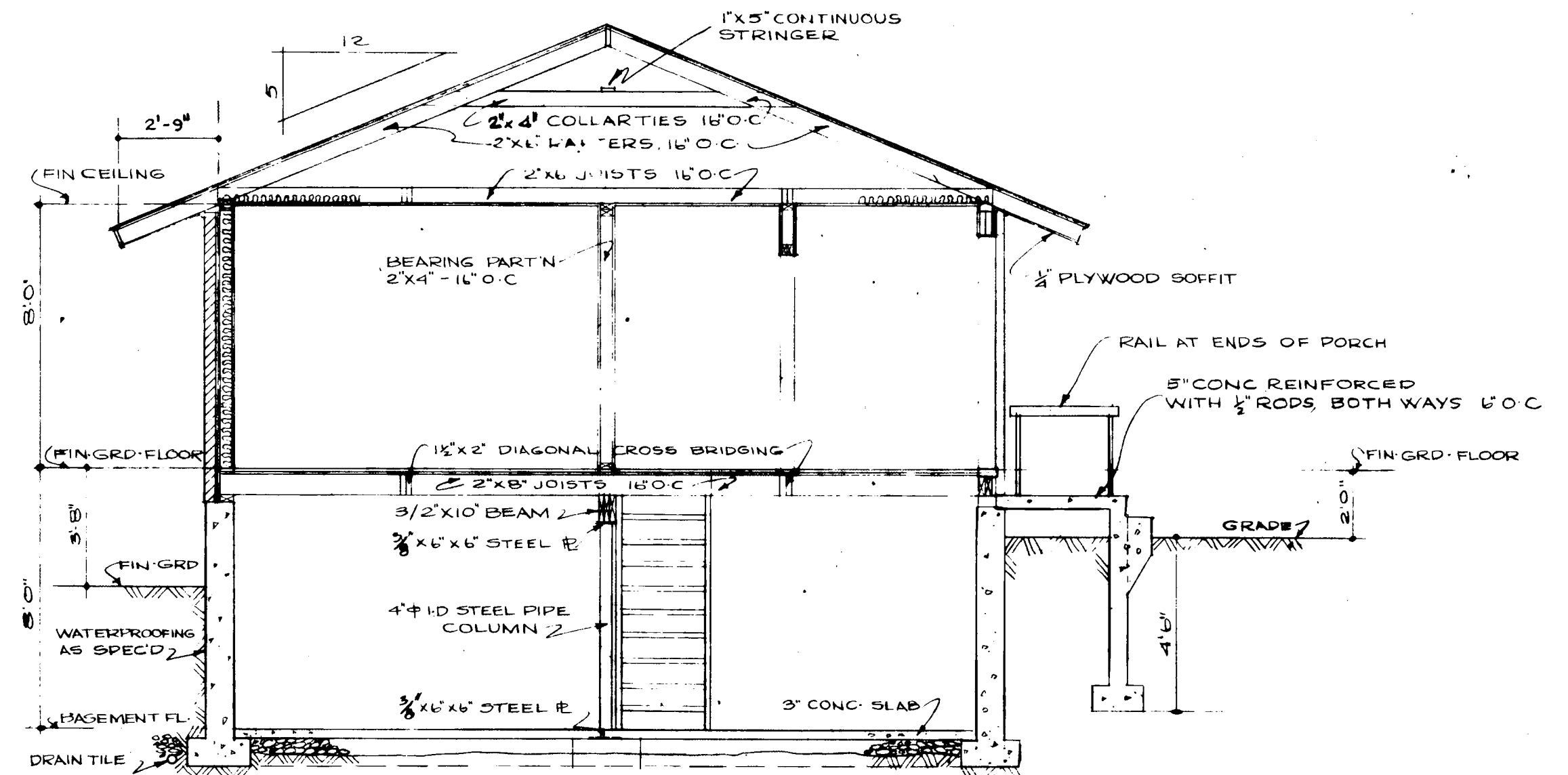
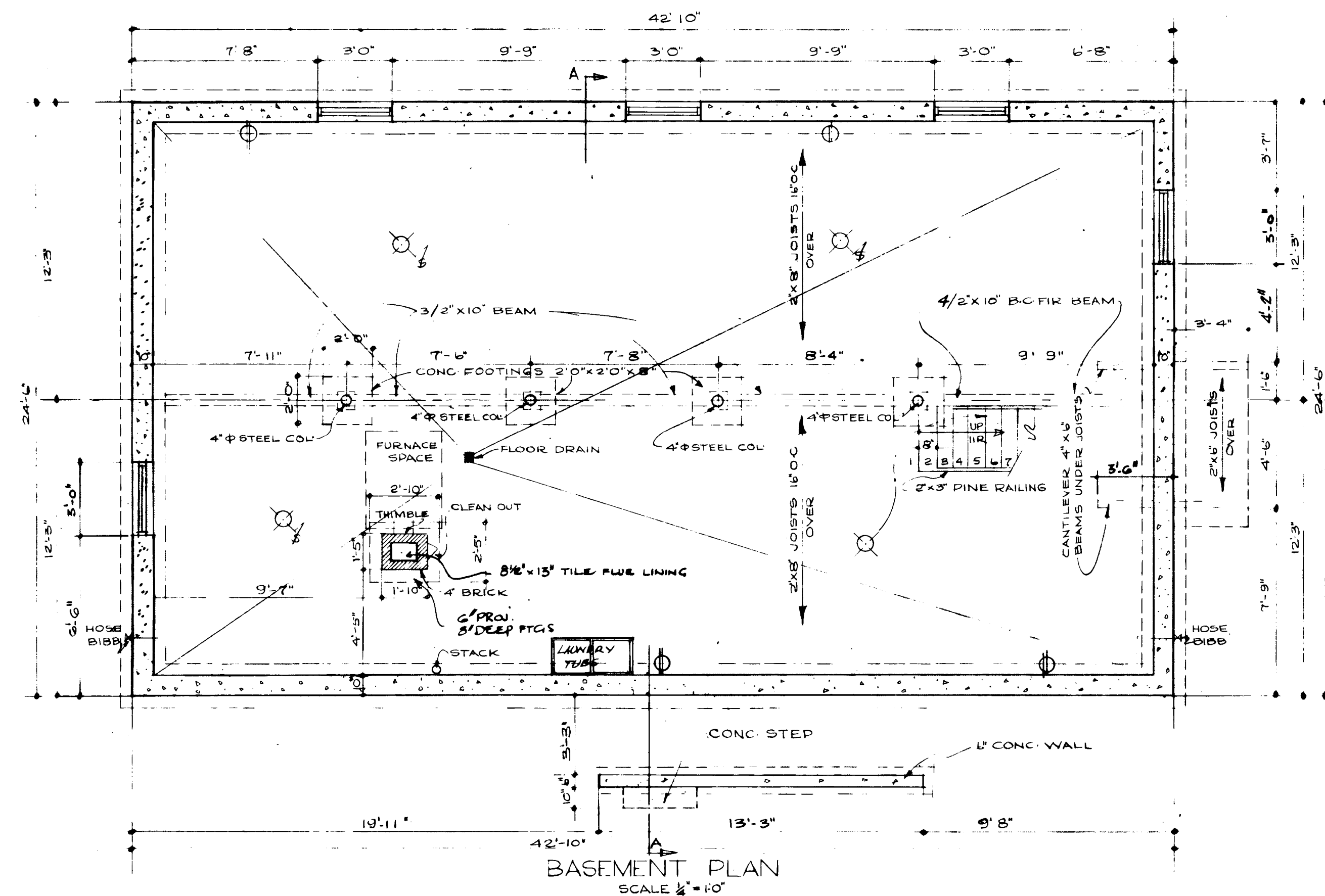
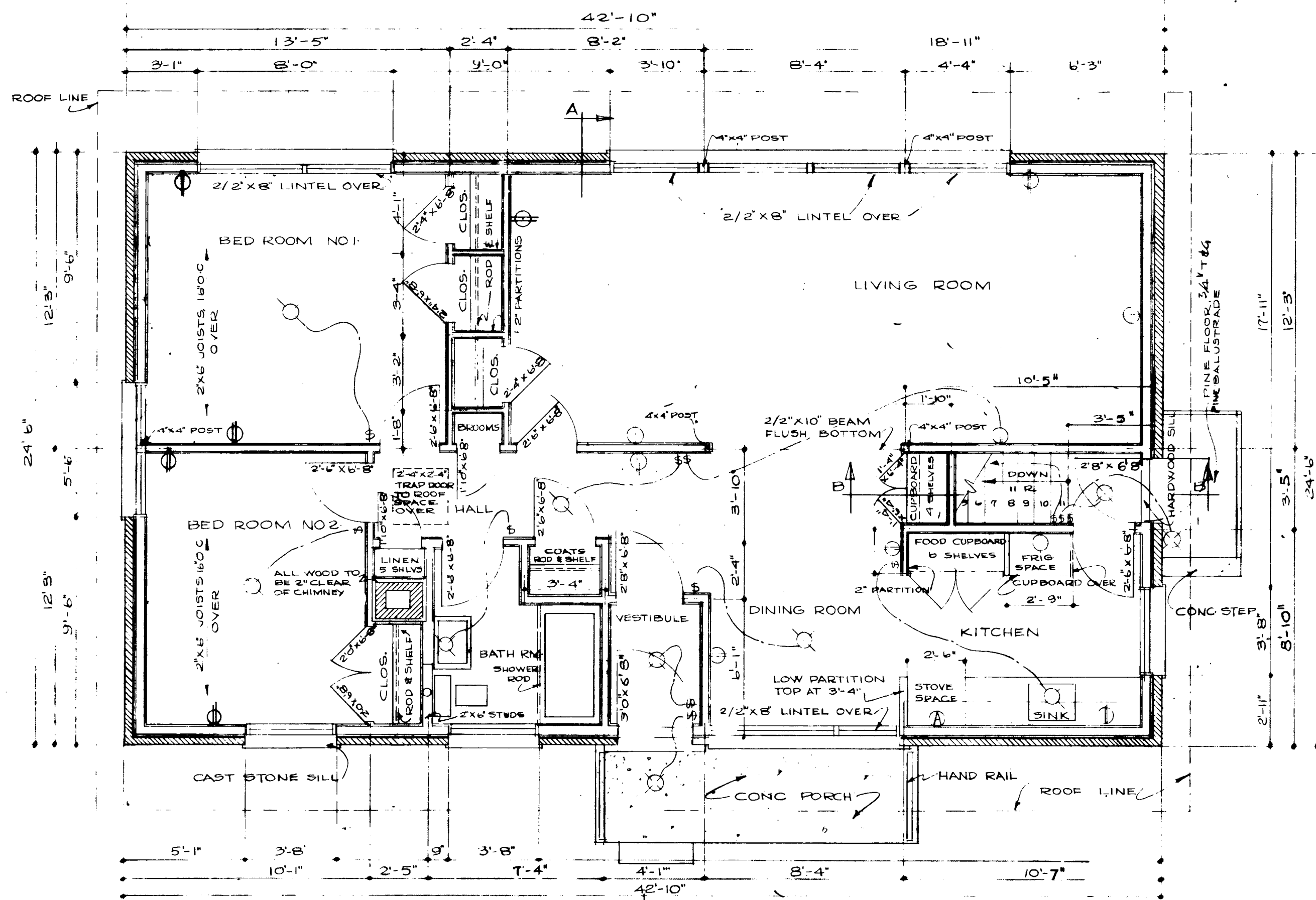
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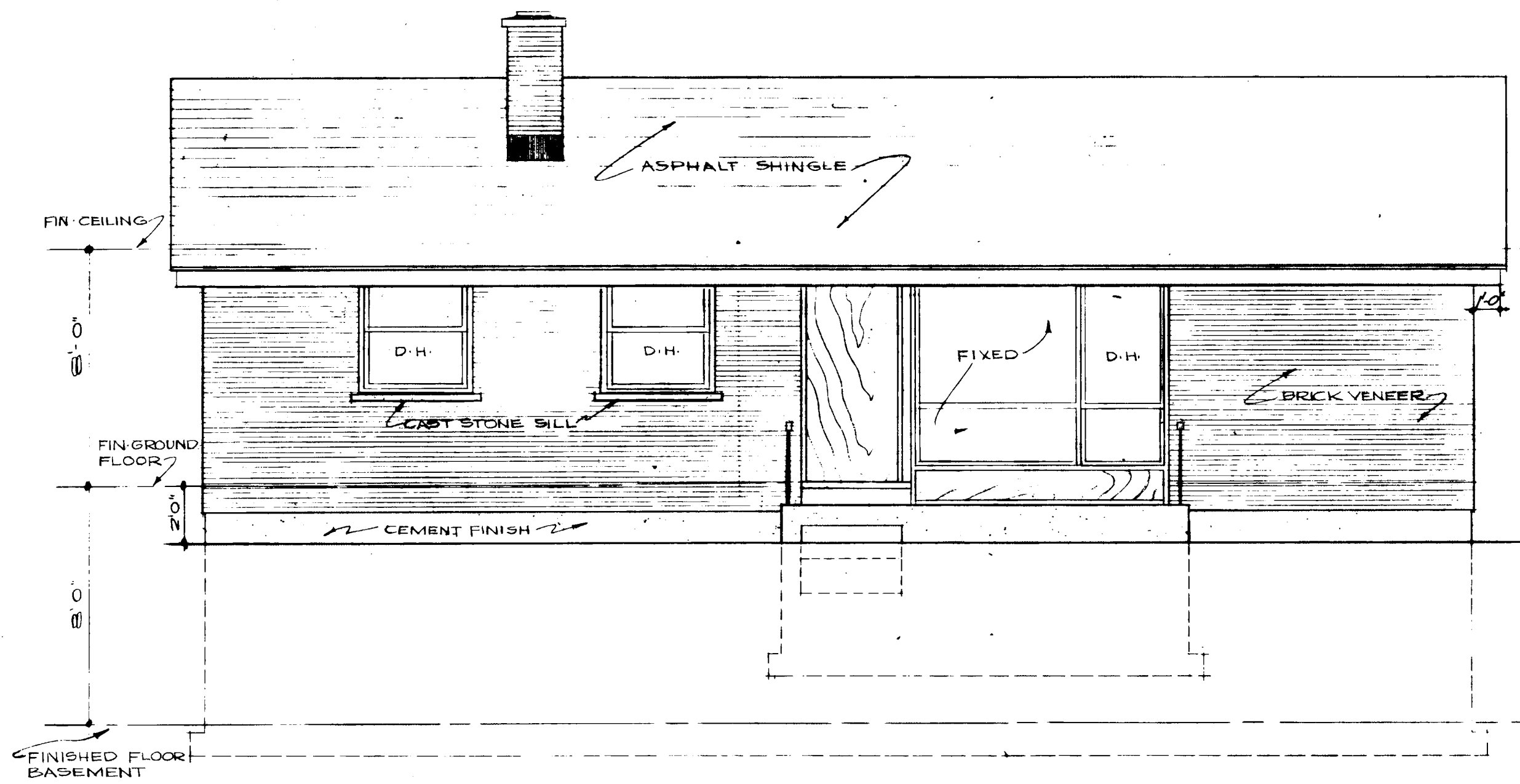
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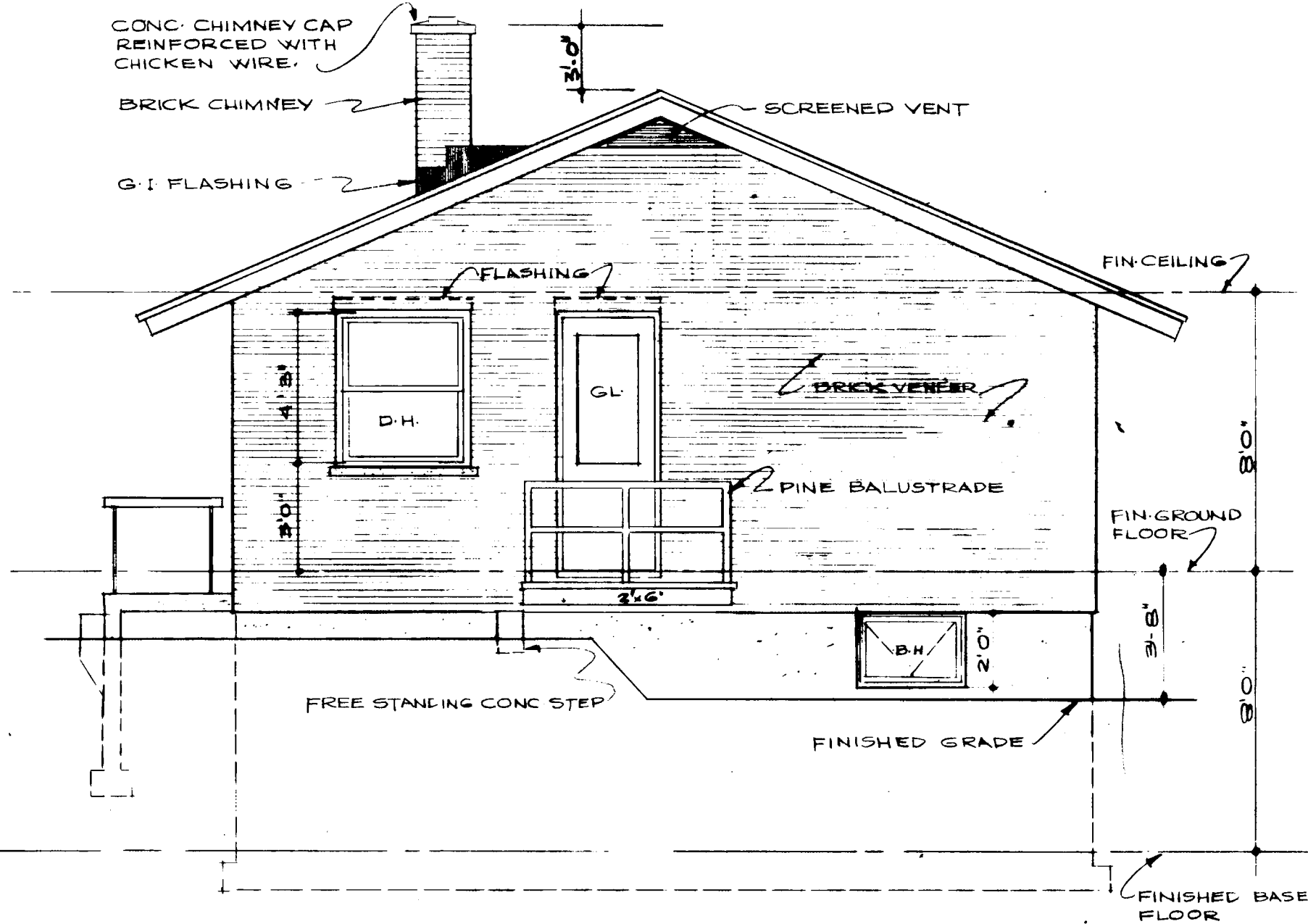
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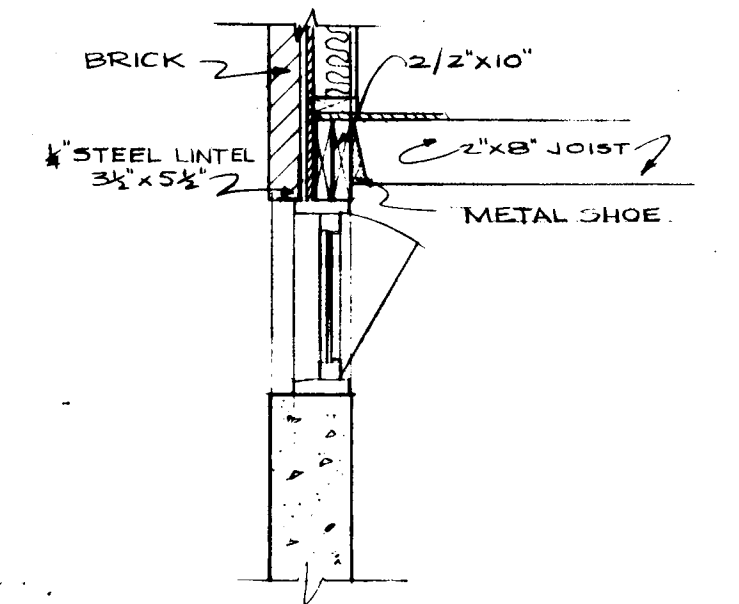
18/6/63	GENERAL	7
24/7/63	DELETED STUDY BEDROOM	NO
DATE	NHA STDS CHKD BY	DATE
REVISIONS	BY	
ARCHITECT		
R.T.AFFLECK		
DATE 22 MAY 1959		
DESIGN NO.	SHEET NO.	
141	1 of 2	
CENTRAL MORTGAGE AND HOUSING CORPORATION		



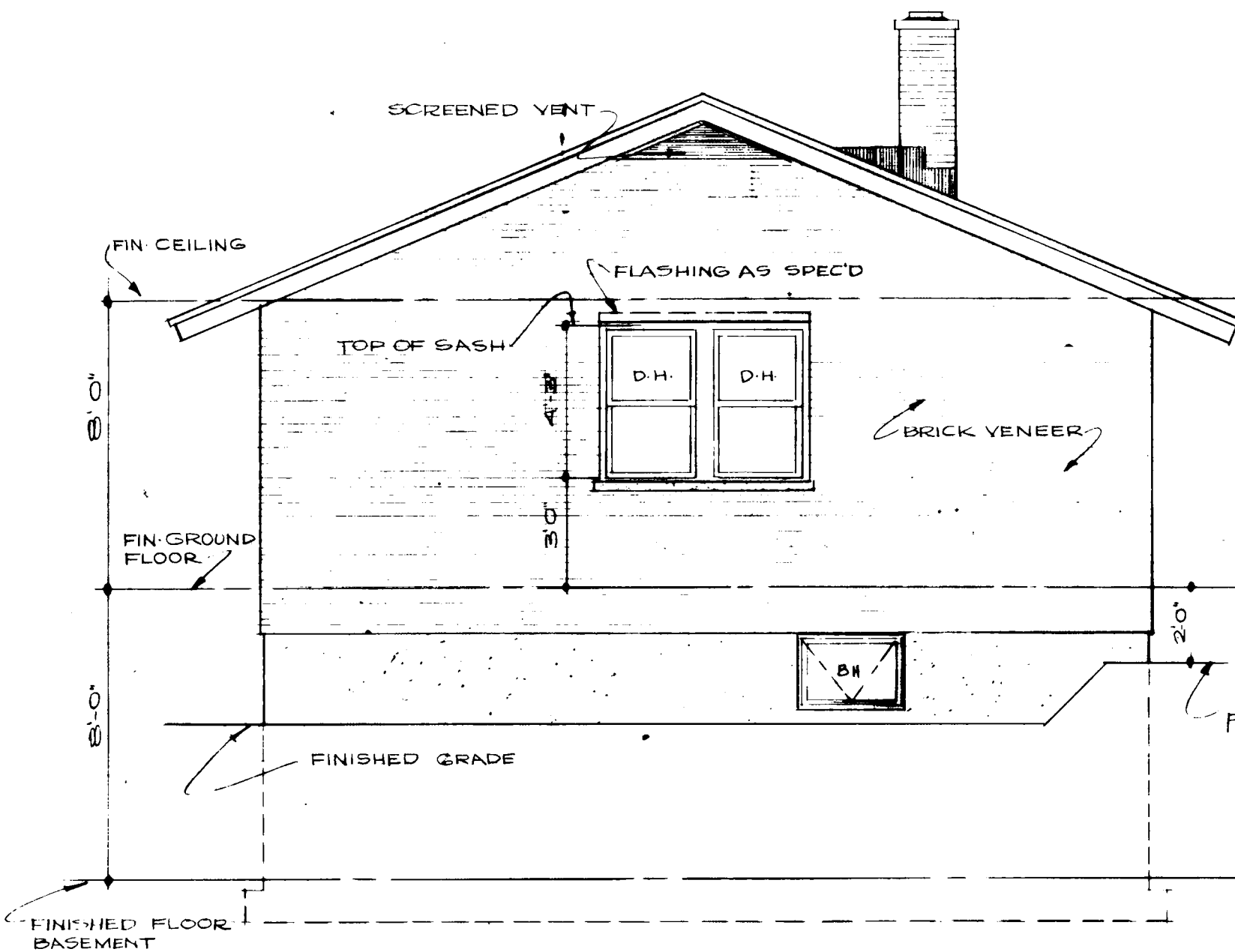
FRONT ELEVATION
SCALE $\frac{1}{4}" = 1'-0"$



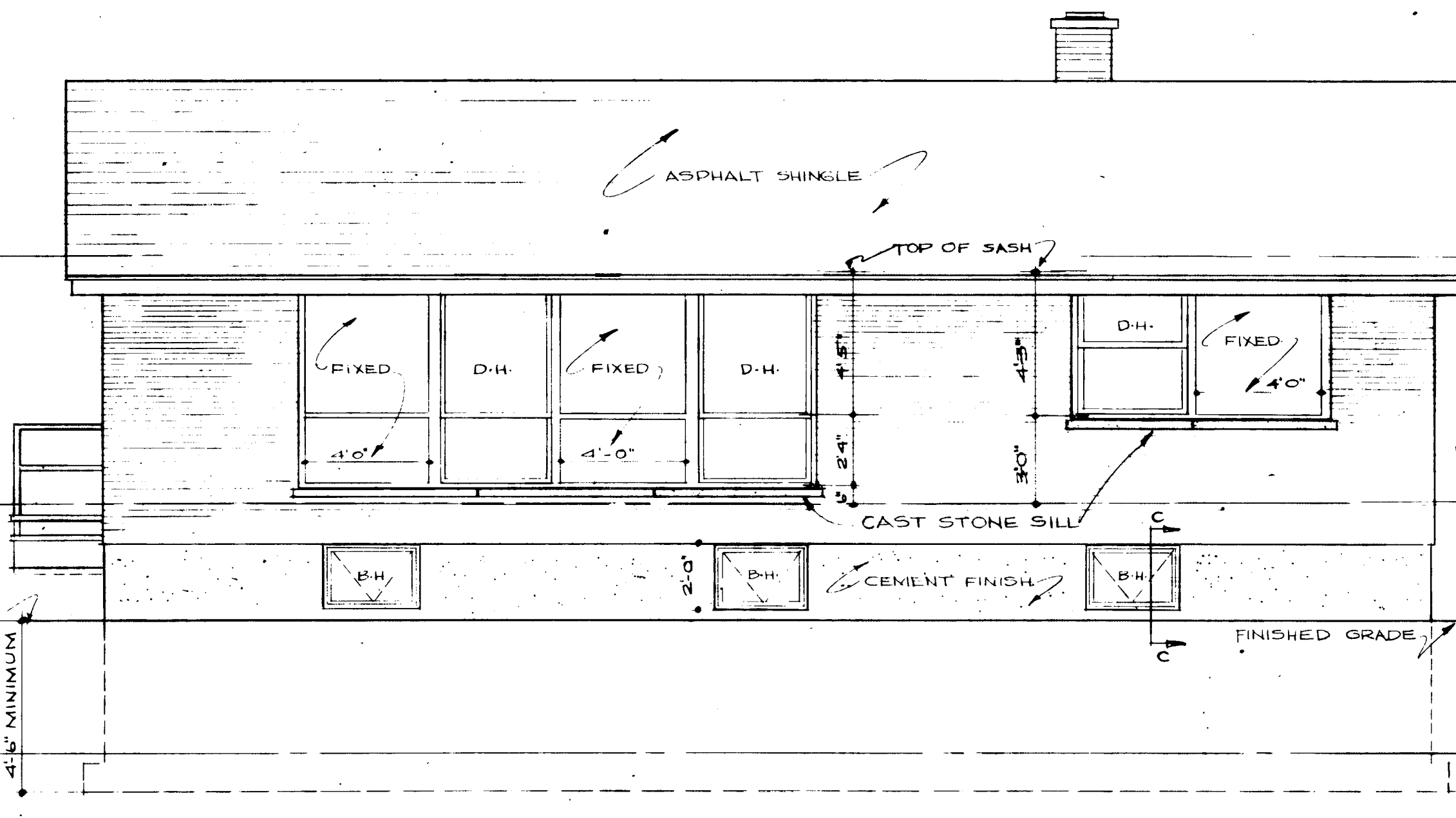
SIDE ELEVATION
SCALE $\frac{1}{4}" = 1'-0"$



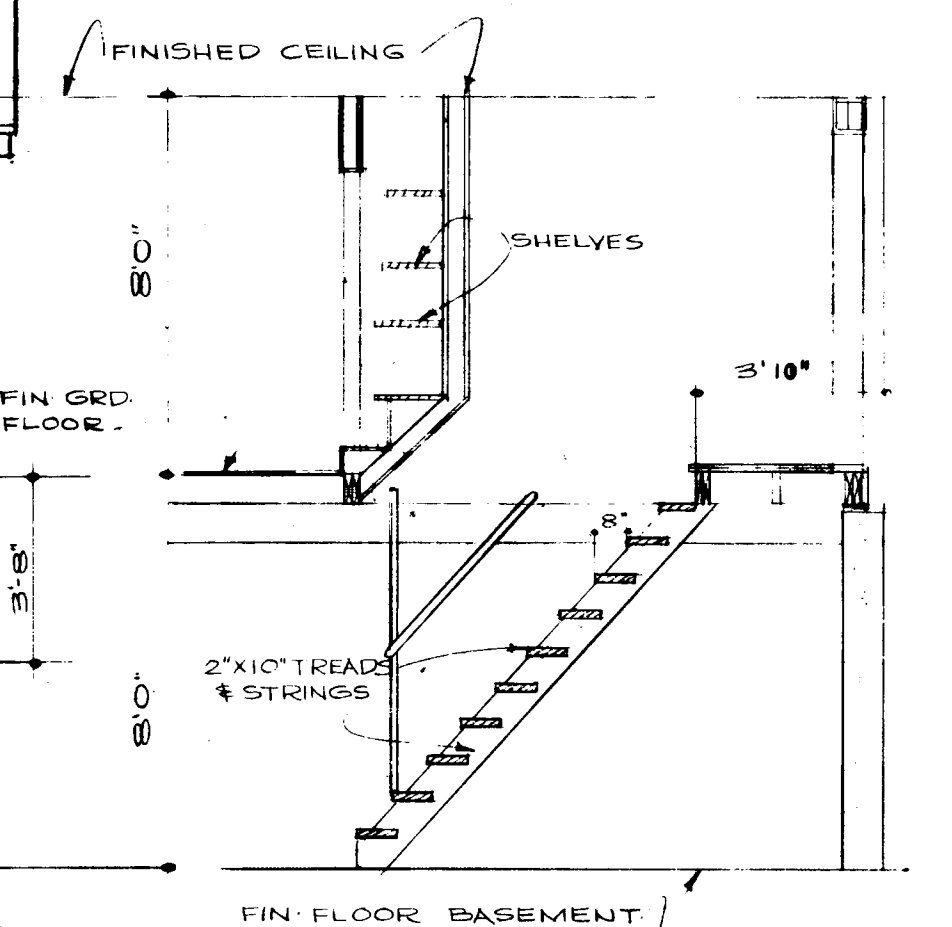
SECTION "C-C" (BASEMENT WINDOW)
SCALE $\frac{1}{2}" = 1'-0"$



SIDE ELEVATION
SCALE $\frac{1}{4}" = 1'-0"$



REAR ELEVATION
SCALE $\frac{1}{4}" = 1'-0"$



SECTION "B-B" (BASEMENT STAIRS)
SCALE $\frac{1}{2}" = 1'-0"$

GENERAL NOTES.

1. ALL FOOTINGS AND FOUNDATIONS SHALL BE TAKEN DOWN TO SOLID BEARING AND BELOW THE ACCEPTED LOCAL FROST PENETRATION LINE. FOOTINGS AND FOUNDATIONS MAY HAVE TO BE INCREASED TO SUIT EXISTING SOIL CONDITIONS.
2. DOUBLED JOISTS REQUIRED UNDER PARTITIONS RUNNING PARALLEL TO THE FLOOR JOISTS MAY BE BLOCKED APART 8" AT 4'-0" O.C. TO PERMIT THE PASSAGE OF HEATING DUCTS ETC.
3. FOR ORDINARY LOADING CONDITIONS WOOD LINTELS OVER DOORS, WINDOWS ETC. IN EXTERIOR AND INTERIOR WALLS SHALL BE PLACED ON EDGE.

4. THE POSITION AND NUMBER OF ELECTRICAL OUTLETS MAY BE RELOCATED BUT MUST IN ALL CASES MEET THE MINIMUM REQUIREMENTS OF THE HOUSING STANDARDS AND COMPLY WITH LOCAL CODES.
5. PROVIDE AT SHELF AND ROD IN THE COAT AND CLOTHES CLOSETS.
6. ADDITIONAL INSULATING MATERIAL MAY BE NECESSARY IN CERTAIN LOCALITIES TO PROVIDE THE REQUIRED RESISTANCE TO HEAT FLOW FOR SUCH AREA.

7. THE STRUCTURAL MEMBERS ARE DESIGNED FOR A LIVE ROOF LOAD OF 30 LBS PER SQUARE FOOT. IN AREAS WHERE A ROOF LOAD IN EXCESS OF THE DESIGN LOAD IS EXPECTED, IT WILL BE NECESSARY TO REDESIGN THE STRUCTURAL MEMBERS ACCORDINGLY.
- (b) ALL STRUCTURAL MEMBERS WILL BE No. 1. CONSTRUCTION GRADE AND EASTERN SPRUCE SPECIES UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ARCHITECT.

10/10/53	R. T. Affleck	10/10/53	GENERAL	7.
DATE	NHA STDS. CHKD. BY	DATE	REVISIONS	BY
		ARCHITECT		
		R. T. AFFLECK.		
		DATE 22 MAY 1953		
		DESIGN NO.	SHEET NO.	
		141	2 of 2	
CENTRAL MORTGAGE AND HOUSING CORPORATION				